

Cabinet Member Delegated Decision

Report title: Concessions Tender for Summer Commercial Events on Clapham Common

Wards: Clapham Common and Clapham Town

Portfolio: Cabinet Member for Equalities and Culture: Councillor Sonia Winifred

Report Authorised by: Bayo Dosunmu: Strategic Director for Resident Services

Contact for enquiries: Olivia Pearcey, Event Operations Manager, Environment and Streetscene, 0207 926 1017, opearcey@lambeth.gov.uk

Report summary

This report sets out the tender evaluation process and seeks approval for award of the Concessions Contract for the delivery of commercial events on Clapham Common. This will be a four-year contract with the option to extend for a further year. The tender process was managed by Lambeth Procurement with the tender being submitted electronically using the EU-Supply portal.

The evaluation was carried out by the Procurement team, who scored the commercial element, and a panel consisting of events officers who scored the qualitative element. Based on the evaluation, the recommended supplier is Live Nation (Music) UK Ltd.

Finance summary

As a concessions contract the contract generates income for the Council. The four year contract value is estimated in excess of £3million, with a one year extension option for an estimated contract value of in excess of £800,000. There will be some cost to the Council to deliver the 4 +1 year contract at an estimated value of £300,000 (£60,000 per year) in total.

Recommendation

1. To award the events concessions contract for Clapham Common to Live Nation (Music) UK Ltd for the period 1 January 2020 – 31 December 2023 with a possible extension option for a further 12 months to 31 December 2024.

Reasons for Exemption from disclosure

The accompanying part II report is exempt from disclosure by virtue of the following Paragraphs of schedule 12A to the Local Government Act 1972:

3. Information relating to the financial or business affairs of a particular person (including the authority holding that information).

1. Context

- 1.1 This is a Gateway 3 Procurement report and the Cabinet Member is being asked to approve award of this potential 4 +1 year contract.
- 1.2 Clapham Common is the most popular space for events in Lambeth and allows income generation.
- 1.3 This proposal sought is to maximise the income that can be obtained from the use of the Clapham Common events site. By tendering the Large and Major commercial events in the Summer period to one company, the Council is minimising the amount of time used for setting up and de-rig by not having multiple events each requiring their own build.
- 1.4 The Council is also looking to achieve the best income for those events by setting the value of Clapham Common in line with other similar high-profile sites. This is an approach that has worked well for Hyde Park and Victoria Park.
- 1.5 One supplier providing the Large and Major events on the Common will ensure that there is a consistency in what and how events are delivered. The Council has also required the successful company to develop the social benefits of the events for the immediate community and wider borough.
- 1.6 In recent years the numbers of local authorities which are making available their parks and open spaces for hire has increased. It is now an increasingly competitive market with new spaces becoming available annually and increased pressure on existing spaces to continue to deliver in the face of increased events and greater expectations. Clapham Common is one of the premium sites in Lambeth and London; and this contract seeks to recognise that and give the Common the prestige it deserves.
- 1.7 Within this contract, EventLambeth has committed to increasing income while minimising the impacts on the Common and to residents, which links to Future Lambeth and the Council's Borough Plan 2016-2021; creating inclusive growth, reducing inequality and building strong and sustainable neighbourhoods.

2. Proposal and Reasons

- 2.1 For reasons of commercial confidentiality, the detailed analysis of the tenders submitted along with the awarded scores is detailed in the Part II report.
- 2.2 It is proposed to award the contract to Live Nation (Music) UK Ltd, after the evaluation process determined that they had submitted the most economically advantageous tender, alongside the best proposal for events and social value.
- 2.3 The proposal not only increased the income generated on the common by almost doubling it on an annual basis but also offered a potential growth year on year for the events.
- 2.4 There will also be an increase in the Park Investment Levy which is spent in consultation with the CCMAC on improvements to the Common that do not fall within general maintenance.
- 2.5 The other tender submission did not score as highly and so was not the preferred option.
- 2.6 There were two valid tenders submitted and so not awarding the contract, or re-starting the tender process was not considered a necessary option.
- 2.7 An above threshold open tender was issued via the London Tenders Portal, advertised via OJEU and Contracts Finder, there were 8 expressions of interest and 2 tender responses.
- 2.8 Tenders were evaluated on a 60% Price and 40% Quality basis.
- 2.9 There were also a number of mandatory questions bidders had to pass in order for their bid to be considered compliant.

- 2.10 The preferred submission was able to demonstrate clear ability to deliver this concessions contract within the timescales permitted and is already an established supplier of similar events in other locations.
- 2.11 The social value of the contract includes training opportunities for Lambeth residents.
- 2.12 The nature of the events proposed were such that they would reach a wide range of demographics and offer a selection of different music genres.
- 2.13 The preferred submission demonstrates the opportunity to grow year on year and the event organiser is willing to work with the council towards delivering sustainable events and demonstrating learning through the assessment of the event impacts.
- 2.14 The Contract will be managed by EventLambeth. The Event Operations Manager will be the main point of contact for the operational delivery of the contract, with support from an Event Operations Officer. The Head of Events and Filming will have full oversight of the contract progression and will decide if escalation of issues is required.
- 2.15 There will be quarterly monitoring meetings to assess the progress of the contract.
- 2.16 The progress against the KPIs will also be assessed at these meetings.
- 2.17 An annual report will be produced following the delivery of the events to assess all aspects including feedback, complaints, and other observations from the event delivery. There will also be debrief meetings with the SAG and key community stakeholders to enable them to feed into that process.
- 2.18 Poor performance in the contract will be highlighted and escalated to the Head of Events and Filming in the first instance. A meeting will be held with the contract holder to highlight the issues and they will be required to provide in writing a plan as to how it will be addressed and monitored with key delivery dates. This will then be monitored and updates provided by the operational leads. Should this require further escalation this will be done by the Head of Events and Filming through the Assistant Director Neighbourhoods, and if required to the Director for Environment and Streetscene, and ultimately the Strategic Director for Resident Services.
- 2.19 The Event Operations Manager has been responsible for the tender process and so is fully aware of all the requirements around the contract. They will act as the operational lead to ensure there is continuity in delivery. Having an Event Operations Officer also involved means that there is continuity if either the Operations Manager or the Event Operations Officer is not able to continue on the project. Other business continuity requirements will be developed in discussion with the successful company as the contract is let and the mobilisation starts.
- 2.20 Living-Wage for directly employed staff and sub-contractors and at least one Lambeth based apprenticeship to be offered for each year of the Contract will be included.

3. Finance

- 3.1 This contract is designed to increase the income generated from the use of the Clapham Common events site while consolidating events into one time period.
- 3.2 Income generated from the events will cover all contract costs including reinstatement and repairs to the grounds and landscape.
- 3.3 The Income will be spent through the parks budget on the Common. This will ensure that there is a guaranteed amount of income for ongoing maintenance and improvement.
- 3.4 The estimated cost to the council to deliver the contract is estimated at £300,000 over the full 4+1 years of the Contract, £60,000 a year. This cost would include Noise Monitoring of the event by LB Lambeth and LB Wandsworth, Public Protection support onsite during the events and ongoing assessments of the events.
- 3.5 This is a new contract and so income and expenditure will be monitored.
- 3.6 There are no cashable savings as this is a concessions contract bringing income in to the Council.

4. Legal and Democracy

- 4.1 The authority to approve the recommendation in this report is delegated to the Cabinet Member for Equalities and Culture.
- 4.2 The proposed services concession contract transfers operating risk to the concessionaire is deemed a services concession contracts within the meaning of the Concession Contract Regulations. The Concessions Contract Regulations 2016 require that contracting authorities competitively procure such contracts via the publication of a notice in the Official Journal where the estimated value exceeds the threshold of £4,551,413. The value of the concession is the estimation by the contracting authority/utility of the total turnover of the concessionaire generated over the duration of the contract, net of VAT, in consideration for the works and services which are the object of the concession contract and for the supplies. Where the estimated value is below, but close to, the threshold public bodies may consider publishing a notice in the Official Journal anyway.
- 4.3 Under the Public Services (Social Value) Act 2012, the Council must consider before starting the process of procurement, how what is proposed to be procured might improve the economic, social and environmental well-being of the relevant area, and how, in conducting the process of procurement, it might act with a view to securing that improvement.
- 4.4 The evaluation of bids must be based solely on criteria made known to bidders at the outset and the criteria must be designed to identify the 'most economically advantageous tender' in terms of price; cost (including life cycle costs); and the best price/quality ratio and overall value for money.
- 4.5 Section 3 of the Local Government Act 1999 requires best value local authorities to make arrangements to secure continuous improvement in the way in which its functions are exercised, having regard to a combination of economy, efficiency and effectiveness. In doing so it should consult, inter alia, representatives of persons appearing to the authority to have an interest in any area within which the authority carries out functions.
- 4.6 Local authorities should comply with their Public Sector Equality Duty under the Equality Act, and this may be fulfilled by conducting an equalities impact assessment.
- 4.7 Article 7 of the Greater London Parks and Open Spaces Order 1967 made pursuant to section 87(3) of the Local Government Act 1963 empowers London local authorities to provide facilities for public

recreation in any open space in Greater London. The Order permits London local authorities to grant licences to provide facilities for public recreation on any part of an open space, subject to such terms and conditions as to payment or otherwise as they may consider desirable. London local authorities may make such reasonable charges as they think fit for the use or enjoyment of recreational activities specified in Article 7 and they may, subject to such terms and conditions as to payment or otherwise as they may consider desirable, grant to any person the right of exercising any of the powers conferred upon the local authority by article 7 and let to any person, any part of an open space set apart, pursuant thereto.

- 4.8 The events run under the concession contract will require planning permission and will also require a Premises Licence pursuant to the Licensing Act 2003. Permissions for Applications and for Premises Licences are considered by the Council exercising those functions, and the contract cannot and does not bind the local authority in the exercise of those functions.
- 4.9 This proposed key decision was entered in the Forward Plan on 17 June 2019 and the necessary 28 clear days' notice has been given. In addition, the Council's Constitution requires the report to be published on the website for five clear days before the proposed decision is approved by the Cabinet Member. Any representations received during this period must be considered by the decision-maker before the decision is taken. A further period of five clear days - the call-in period – must then elapse before the decision is enacted. If the decision is called-in during this period, it cannot be enacted until the call-in has been considered and resolved.

5. Consultation and co-production

- 5.1 This section details the consultation that has been undertaken over this contract. The Council's primary stakeholder for Clapham Common is the Clapham Common Management Advisory Committee (CCMAC), which represents all groups with an interest in the Common, including the Clapham Society, Clapham BID and the Friends of Clapham Common. Although some constituent groups hold reservations about the impact of events on the common, CCMAC are supportive of the tender, providing that additional income generated is invested back into the Common.
- 5.2 At this stage due to the confidentiality of the tender process formal feedback has not been sought from the CCMAC but an update is being provided for their next meeting at the start of September and we will ask for feedback on that.

Table 1 – Stakeholder Matrix

Stakeholders	Interest	Action
Procurement Officer	All stages from pre-Business Case to award of contract.	<ol style="list-style-type: none"> 1. Conducted pre-procurement engagement. 2. Consulted on each stage of procurement (GW1, GW2, GW3). 3. Consulted on development of tender documentation. 4. Consulted on the use of the e-procurement portal. 5. Consulted on execution of contract.
Cllr Sonia Winifred – Cabinet Member	All stages from pre-Business Case To approval of contract	<ol style="list-style-type: none"> 1. Conducted pre-procurement engagement. 2. Consulted on each stage of procurement (GW1, GW2, GW3).

Stakeholders	Interest	Action
Bayo Dosunmu - Project Sponsor (Strategic Director)	Successful delivery of contract arrangements and securing Cabinet Member buy-in.	<ol style="list-style-type: none"> 1. Met and discussed approach with Cabinet Member. 2. Kept Strategic Director updated on procurement.
Management Team	The Assistant Director Neighbourhoods and Director of Environment and Streetscene have both been kept closely apprised of tender progress and are both fully supportive	<ol style="list-style-type: none"> 1. Consulted on quality KPI's for proposed contract. 2. Engaged throughout the tender process 3. Will continue engagement and updates throughout contract delivery
CCMAC	Interest in outcomes of the contract.	<ol style="list-style-type: none"> 1. Event officers have regularly attended CCMAC monthly meetings to provide updates and will arrange further meetings and electronic updates around the contract delivery.

6. Risk management

6.1 The Project Team responsible for the delivery of the procurement and management of the subsequent contract have developed a risk register in Table 2 below. The main risks that impede on the successful delivery of this procurement and contract are listed in Table 2 together with proposed control measures:

Key

Likelihood	Very Likely	4	Likely	3	Unlikely	2	Very Unlikely	1
Impact	Major	8	Serious	4	Significant	2	Minor	1

Table 2 – Risk Register

Item	Risk	Likelihood	Impact	Score	Control Measures
1	Tender Process is Challenged	2	4	8	The tender process was conducted in a robust, clear and transparent way to mitigate the risk of challenge.
2	Providers not being able to complete contractual obligations	1	8	8	The potential provider has been asked to submit evidence of experience of delivering these types of events. They are a large international company and have the resources in place to deliver the events and the commitments made in the tender process.
3	Planning Permission	2	8	16	Planning permission is required for these events. The application will be for permission for the duration of the contract (4+1) rather than the annual application that has been made previously. This has been discussed with the planning team for the GW2

Item	Risk	Likelihood	Impact	Score	Control Measures
					and once the contract is established further meetings will be set up with the Planning team to ensure that all areas are covered. Should planning permission not be granted this would jeopardise the whole contract.
4	Resident Dissatisfaction	3	2	6	The events will have strict time frames and closing times to minimise the impact on residents. The CCMAC have been made aware of the Tender and will be engaged with on awarding of the contract and so have the opportunity to meet with the event organisers.
5	Brexit	3	1	3	The Event organisers have a Brexit Plan in place. As a company delivering multiple events nationally and internationally, they will have plans in place to ensure supply chains are not disrupted.
6	Licensing	3	4	12	As with Planning Permission, a licence application will need to be sought for these events. It will be applied for the duration of the contract – engagement with the licensing team was undertaken for the GW2 but no feedback provided. Further engagement as to the best way of licensing Clapham Common will be undertaken once the scope of the requirement is confirmed.
7	Planning Inspectorate	2	4	8	It has been decided that although LBL still contests that Planning Inspectorate permission is required for temporary structures, formal consent will be applied for. The timescales are quite lengthy and as there is no precedent set for this type of application it may cause delays. Application will be made as soon as sufficient detail of the infrastructure onsite is provided.
8	Adverse Weather on delivery	2	4	8	Adverse Weather is a risk in the delivery of all outdoor events. Event organisers will be well versed in managing these risks, including appropriate insurance and grounds repairs that can improve and make safe the conditions. In the case of

Item	Risk	Likelihood	Impact	Score	Control Measures
					cancellation due to bad weather Lambeth would work with the event organisers to see if there were alternative dates possible, but ultimately the concession payment would still need to be made.

7. Equalities impact assessment

- 7.1 An EIA for the Events Strategy was undertaken in 2016.
- 7.2 A further proposal specific EIA was submitted online and approved on the 4 June 2019. The contract award does not have the potential for discrimination against the protected characteristics. The successful tenderer will be required to meet their legislative obligations relating to equalities and the events produced will be accessible to all.
- 7.3 There will be an ongoing assessment of the event delivery by the events team. This will look at complaints, issues raised by stakeholders and event delivery.
- 7.4 The contract will be assessed on an annual basis against the KPI's and terms. This includes delivery of the social value, working experiences etc.
- 7.5 The tender submitted also includes the proposal for a biennial impact assessment of the event to be undertaken by the event organisers.

8. Community Safety

- 8.1 At present for major and high risk events the council's public protection team have a presence onsite paid for by the events team. All events of this scale have to present at the Lambeth Events Safety Advisory Group. This group includes representatives from the Emergency Services and Lambeth's Public Protection Team.
- 8.2 It is anticipated that this would continue to be a requirement for these events, however by having one block of events rather than a series of them it will mean that resources are not required throughout the year. Time would still be paid for by the events team from event income.
- 8.3 The food health and safety team assess food trader applications for events. By reducing the number of individual events taking place and collating it all-in one-time period it will mean that there is less work spread throughout the year and the ability to forward plan for a known number of traders.

9. Organisational implications

9.1 Environmental

- a. Live Nation (Music) UK Ltd have signed up to the Festival Vision:2025 pledge to reduce greenhouse gas emissions by 50% by 2025.
- b. They also have a full sustainability policy and would be working with EventLambeth for the delivery within the Green events Guide once it is cleared.

- c. Live Nation (Music) UK Ltd specify that all food packaging used on-site must be certified compostable. They seek to find alternatives to single use plastics for the event organisers and contractors wherever possible.
- d. Where relevant an affordable and more sustainable food and drinks offer will be made available.

9.2 Staffing and accommodation

- a. There are no TUPE implications as this is a completely new contract.
- b. There is a commitment to employing at least 1 apprentice from LB Lambeth for each year of the contract. There will also be short-form work experience opportunities for three people from LB Lambeth. Targets will be set to require contractors to employ people from the local area.
- c. Compliance with the Modern Slavery Act 2015 will be checked.

9.3 Procurement

a. Procurement Route:

- i. An OJEU Tender was published on Contracts Finder and OJEU via the EU-Supply tendering portal on 22 May 2019, following an Expressions of Interest notice on 26 March 2019 and an engagement session on 10 May 2019. The OJEU Reference number is 2019/S 098-237302. It was published on 22 May with all responses to be received by 24 June 2019. There were two tenders received and both were deemed compliant. There were three panel members who assessed each response separately and then met to agree a consensus option with the Procurement lead.

ii. Evaluation Methodology

Table 1: Evaluation breakdown

No.	Quality	Weighting
MS1	Experience and Capability	10%
MS2	Service Delivery	12%
MS3	Mobilisation Plan	4%
MS4	Engagement and Communication	6%
MS5	Safety and Well Being	4%
MS6	Social value	4%
Quality		40%
Price		60%
TOTAL OVERALL		100%

iii. Table Below with agreed scores:

Bidder Name	Price	Quality	Total (Price + Quality)	Rank
Live Nation (Music) UK Ltd	60.0	37.6	97.6	1
Tenderer B	52.6	30.8	83.4	2

- iv. Once the evaluators had met for the moderation meeting it was agreed that the contract should be awarded to Live Nation (Music) UK Ltd
- v. As above this was based on the submissions, experience, income and delivery of a wide range of events for the common.

- b. Due to the nature of the contract there are minimal GDPR issues as there is limited personal data being held. Any of this which is held will be in the event documents and circulated only with the approval of the document owner to the relevant stakeholders. The event application system Apply4 is GDPR compliant. The data controller is EventLambeth and the data processor Apply4.

9.4 Health

- a. As well as providing the required medical and safety provisions for event attendees the supplier will have support for all staff working onsite to look after all aspects of wellbeing and providing support for staff members who may require it.
- b. We will require the successful company to sign up to the London Healthy Workplace Charter.
- c. There will be an opportunity to work with the successful company and colleagues in Public health around substance misuse and messaging. Should there be other opportunities that arise these will be explored alongside feedback from the Met Police and LESAG.
- d. We will be working with the successful company and colleagues to ensure that the Women’s Night Safety Charter, which LB Lambeth has signed up to, is considered in event planning and good practice is from events is highlighted and shared.

10. Timetable for implementation

Activity	Proposed Date
Date published on Forward Plan	17 June 2019
Submission to Procurement Board Administrator	20 Aug 2019
Procurement Board Date	27 Aug 2019
Publication on Decisions online	2 Sept 2019
Call-in Period	9 – 15 Sept 2019
Execution of Contract	16 – 23 Sept 2019
Award of Contract	16 Oct 2019
Mobilisation Period	Oct 2019 – Aug 2020
Commencement of Contract Events	Aug 2020

Audit Trail

Consultation				
Name/Position	Lambeth directorate / department or partner	Date Sent	Date Received	Comments in paragraph:
Councillor Winifred	Cabinet Member for Equalities and Culture	21.08.19	10/09/19	Clearance for pre-decision publication
Councillor Jack Hopkins	Leader of the Council	21.08.19	03.09.19	NA
Councillor Briggs	Ward Councillor for Clapham Common	21.08.19	NA	
Councillor Corry-Roake	Ward Councillor for Clapham Common	21.08.19	25.08.19	NA questions re clarification of the tender
Councillor Reynolds	Ward Councillor for Clapham Common	21.08.19	21.08/19	NA questions re clarification of the tender
Councillor Bray	Ward Councillor for Clapham Town	21.08.19	NA	
Councillor Haselden	Ward Councillor for Clapham Town	21.08.19	NA	
Councillor Wellbelove	Ward Councillor for Clapham Town	21.08.19	NA	
Bayo Dosunmu Strategic Director	Residents' Services	02.09.19	NA	
Raj Mistry Director of Environment and Streetscene	Residents' Services	02.09.19	06.09.19	NA
Kevin Crook Assistant Director	Residents' Services	24.07.19	21.08.19	throughout
Lee Fiorentino Head of Events and Filming	Residents' Services	24.07.19	02.09.19	throughout
Hamant Bharadia Acting Director Finance and Property	Finance & Investment	16.08.19	19.08.19	3
David Thomas Contracts Lawyer	Legal & Governance	06.08.19	08.08.19	4
Maria Burton Senior Democratic Services Officer	Legal & Governance	06.08.19	08.08.19	4
Kevin Edger, Category Manager, Procurement	Finance & Investment	16.08.19	16.08.19	throughout
Sophie Eveso, Procurement Officer	Finance & Investment (Procurement)	29.07.19	19.08.19	Initial consultation of the draft document and throughout

Report History	
Original discussion with Cabinet Member	26.07.19
Report deadline	N/A
Date final report sent	N/A
Part II Exempt from Disclosure/confidential accompanying report?	Yes
Key decision report	Yes
Date first appeared on the forward plan	17.06.19
Key decision reasons	2. Expenditure, income or savings in excess of £500,000
Background information	N/A
Appendices	N/A

APPROVAL BY CABINET MEMBER OR OFFICER IN ACCORDANCE WITH SCHEME OF DELEGATION

I confirm I have consulted Finance, Legal, Democratic Services and the Procurement Board and taken account of their advice and comments in completing the report for approval:



Signature: _____

Date: 20/09/2019

Post: Olivia Pearcey
Event Operations Manager

I confirm I have consulted the relevant Cabinet Members, including the Leader of the Council (if required), and approve the above recommendations:



Signature: _____

Date: 20/09/2019

Post: Cllr Sonia Winifred
Cabinet Member for Equalities and Culture

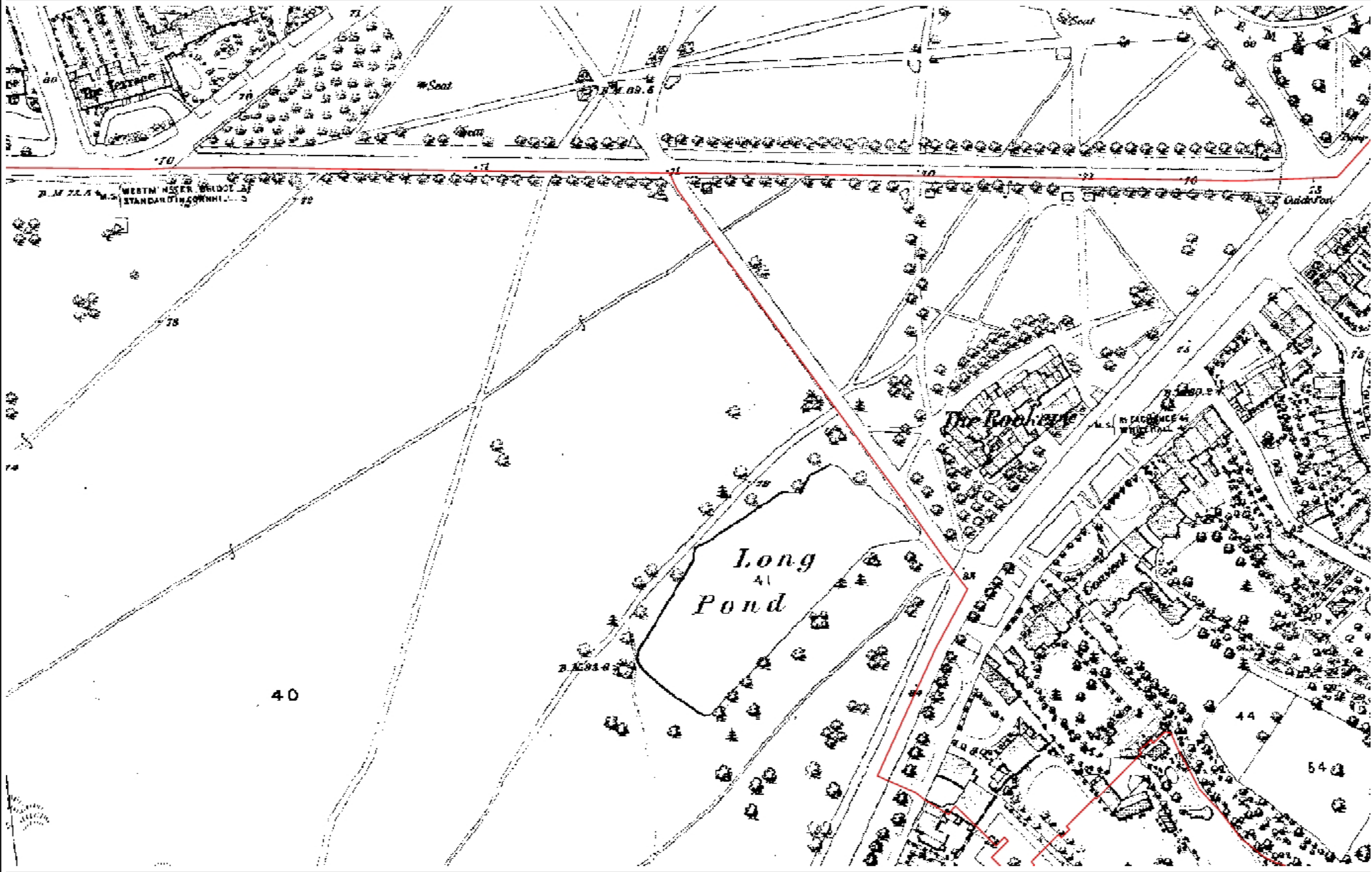
Any declarations of interest (or exemptions granted): none

Any conflicts of interest: none.

Any dispensations: none.



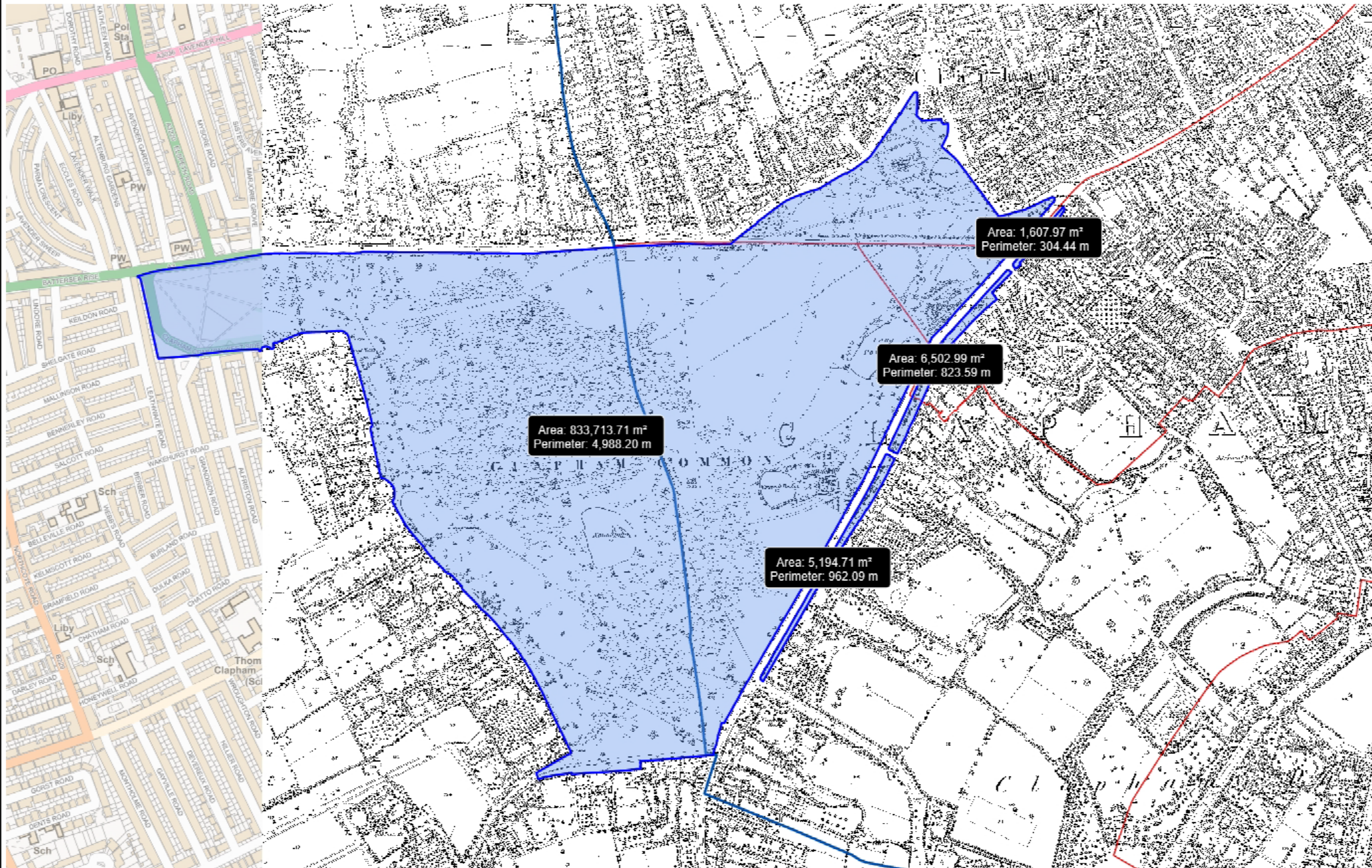
CLAPHAM COMMON



- Borough Boundary
- LambethWardsAndCouncillors

1: 1,700

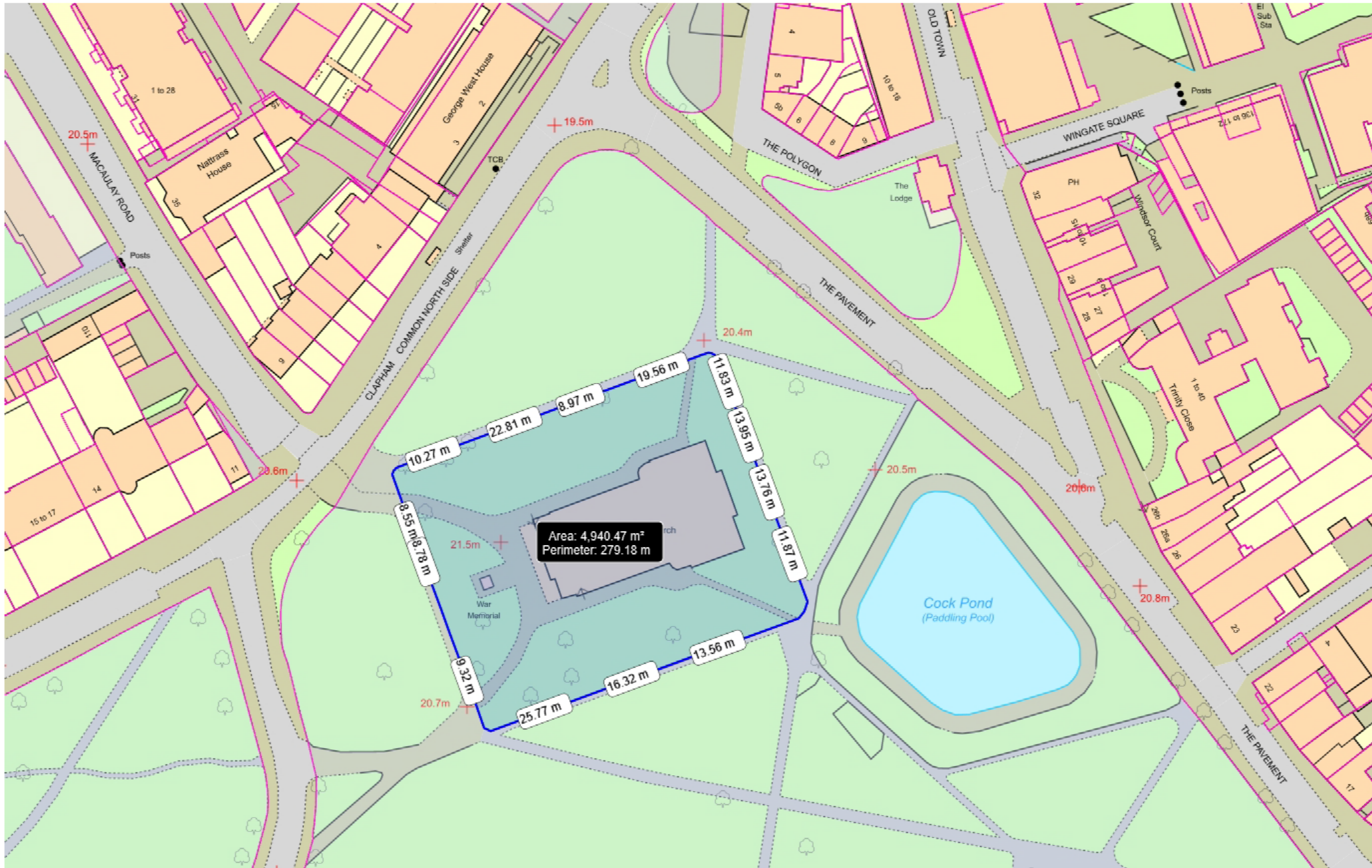




- Borough Boundary
- Lambeth Wards And Councillors

1: 6,802





- Borough Boundary
- Lambeth Wards And Councillors
- LBL Land Registry Titles
- Land Registry Titles

1: 850



Notes

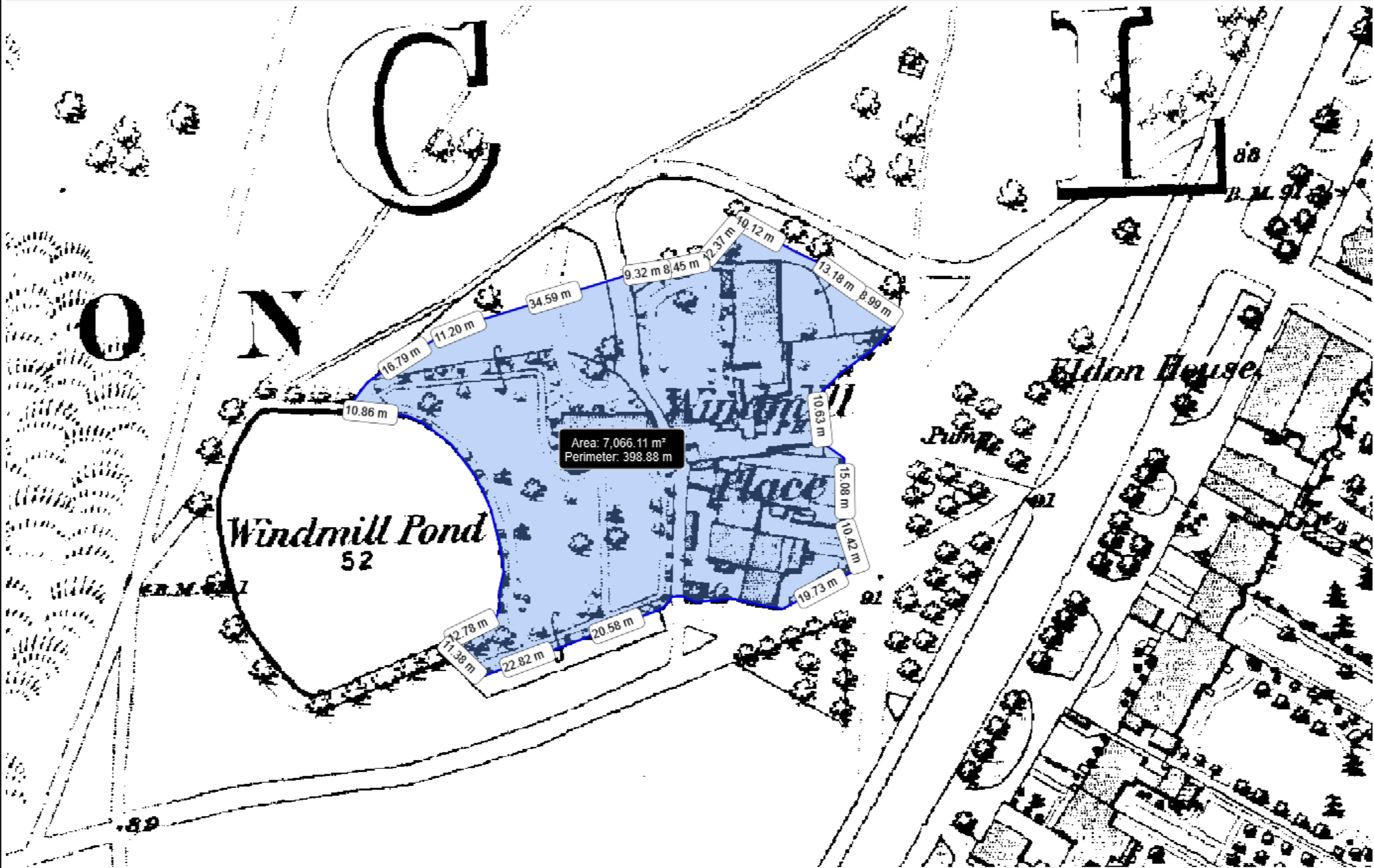


- Borough Boundary
- LambethWardsAndCouncillors

1: 425



Notes



- Borough Boundary
- LambethWardsAndCouncillors

1: 850



Notes

NOTE: This section contains the registration of every person registered under the Act as owner of any of the land described in the land section of this register unit. It does not contain any registration in respect of land of which the freehold is registered under the Land Registration Acts 1925 and 1936, but the absence from this section of a registration in respect of any land described in the land section does not necessarily indicate that the freehold of that land is registered under those Acts.

Registration authority
GREATER LONDON COUNCIL

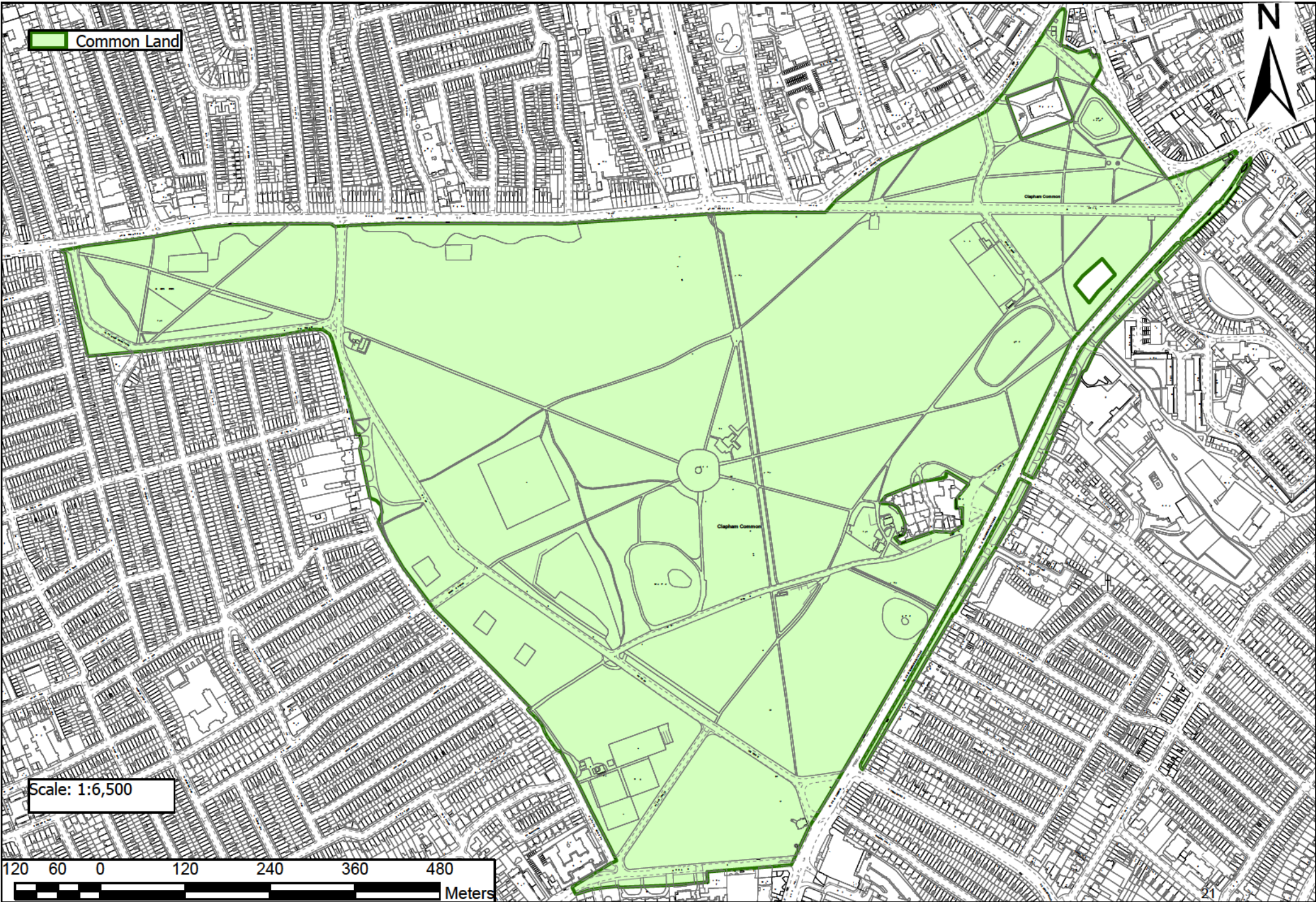
Register unit No. **CL73**
Edition No. **1**

Register of Common Land

See Overleaf for Notes

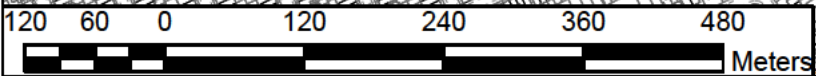
OWNERSHIP SECTION—Sheet No. 1

1 No. and date of entry	2 No. and date of application	3 Name and Address of person registered as owner	4 Particulars of the land to which the registration applies
1 7 June 1968 (See entry	190 29 May 1968	The Greater London Council, The County Hall, London, S.E.1.	The land comprised in this register unit
No. 2 below)		(REGISTRATION PROVISIONAL)	
2 7 Oct. 1970	The registration at entry No. 1 above, being undisputed, became final on 1 October 1970.		



Common Land

Scale: 1:6,500

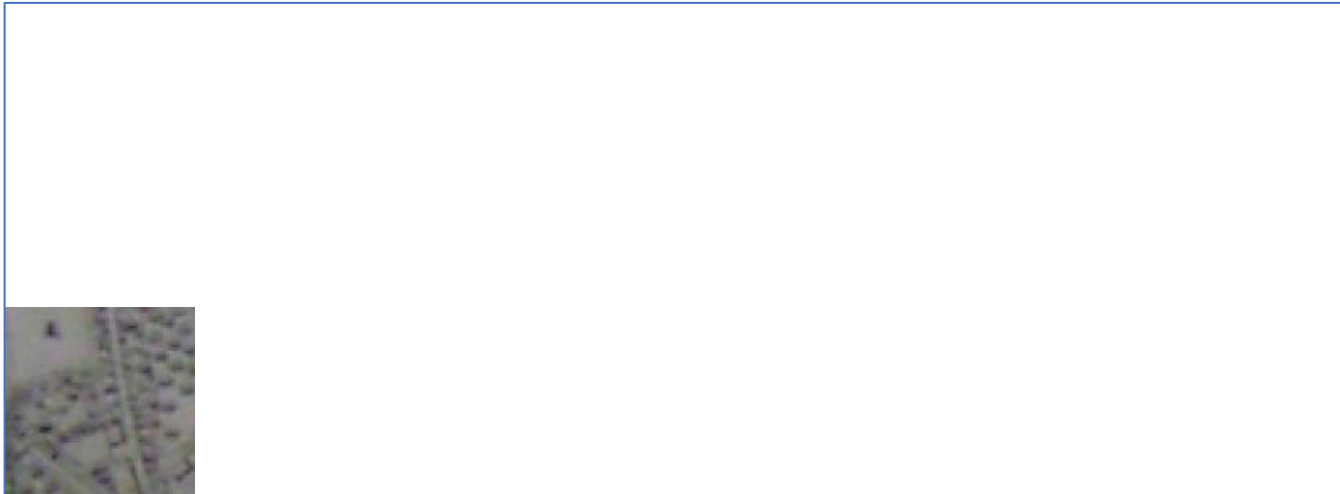


Clapham Common - Common Land

Differences in mapping off Clapham Common West Side



Lambeth's 83.03
hectares map
follows the modern
road edge

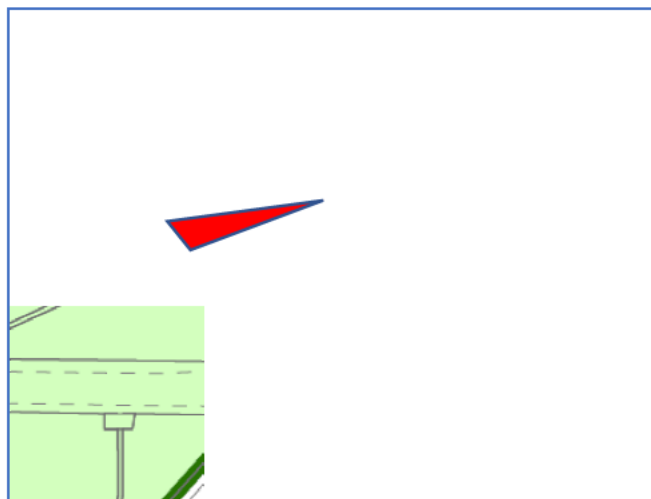


1877 map



Lambeth's 83.30 hectares map replicates the original boundary

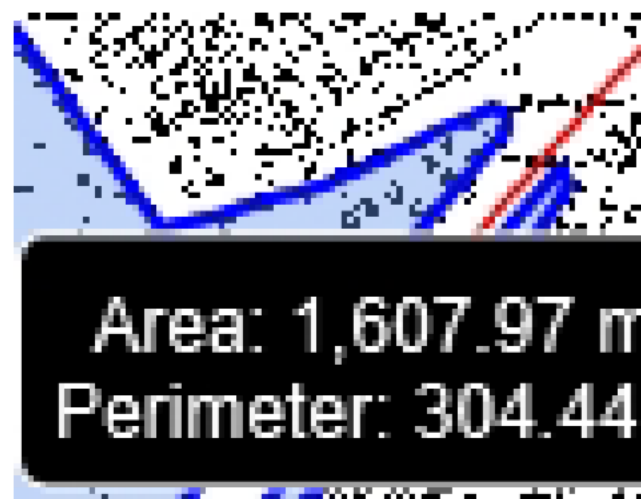
Differences in mapping west of Clapham Common underground station



Lambeth's 83.03 hectares map misses part of the common (in red)

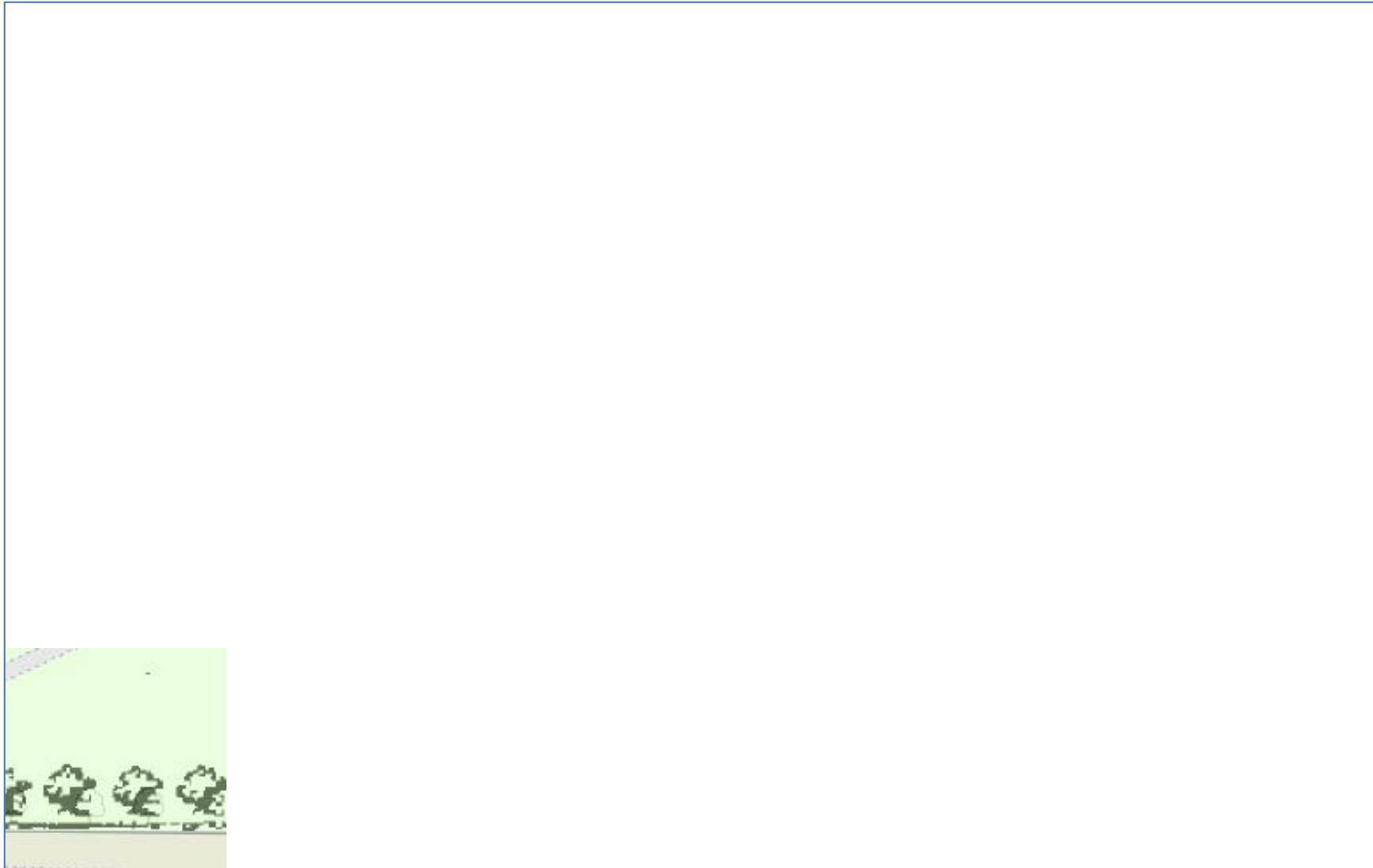


1877 map



Lambeth's 83.30 hectares map follows the 1877 outline using the same historical map

Common land missed off the 83.03 hectare map – 236.71 sqm



COMMONCD	District/Borough Registration number	Number of commons in Registers	Registered AREA in hectares	OS 1:50,000 sheet number	Easting	Northing	Common land name	Contiguous register unit
23012	Wandsworth/Lambeth LB	12	78.01	176	528500	175000	Clapham Common	CL 73 (Greater London)
23014	Wandsworth LB	14	3.2	176	526500	172300	Garrett Green	
23028	Lambeth LB	28	23.93	177	530500	170900	Streatham Common	CL 29 (Greater London)
23029	Lambeth LB	29	3.88	177	531000	170800	The Rookery	CL 28 (Greater London)
23030	Wandsworth/Lambeth LB	30	58.12	176	529000	172000	Tooting Bec Common	CL 31 (Greater London)
23031	Wandsworth LB	31	22.13	176	528700	172000	Tooting Graveney Common	CL 30 (Greater London)
23032	Wandsworth LB	32	69.43	176	527100	175100	Wandsworth Common	
23073	Wandsworth LB	73	0.16	176	528300	174800	Part of Clapham Common	CL 12 (Greater London)

Data extracted from: Commons Register England, 2000, available online from:

<https://www.data.gov.uk/dataset/05c61ecc-efa9-4b7f-8fe6-9911afb44e1a/database-of-registered-common-land-in-england>

Snapshots taken from the Commons Database handbook, downloaded from:

<https://www.data.gov.uk/dataset/05c61ecc-efa9-4b7f-8fe6-9911afb44e1a/database-of-registered-common-land-in-england>

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The Rookery, Streatham – Historic England Listing

Downloaded from:

<https://historicengland.org.uk/listing/the-list/list-entry/1000829?section=official-list-entry>

Official list entry

Heritage Category:

Park and Garden

Grade:

II

List Entry Number:

1000829

Date first listed:

01-Oct-1987

The scope of legal protection for listed buildings

This list entry identifies a Park and/or Garden which is registered because of its special historic interest.

[Understanding registered parks and gardens](#)

[Corrections and minor amendments](#)

Location

The building or site itself may lie within the boundary of more than one authority.

County:

Greater London Authority

District:

Lambeth (London Borough)

Parish:

Non Civil Parish

National Grid Reference:

TQ 30929 70835

Details

An early C20 public garden of c 1ha, purchased by public subscription and developed in the grounds of an early C18 spa house.

HISTORIC DEVELOPMENT

The Well House (or Streatham Wells as it is referred to on John Rocque's map of 1746) was built in the early C18 to house visitors to the spa which developed around the mineral springs discovered at Streatham in 1659. The adjacent house, The Rookery, was rebuilt and enlarged to accommodate the numerous visitors; it was demolished in 1912.

In 1911 the 3 acre (1.25ha) site was threatened with redevelopment and was purchased for £3,075, raised by public subscription. The Rookery was presented to London County Council in 1912; it was then added to Streatham Common and opened as a public park in July 1913.

In 1923 the London County Council published a description of The Rookery which included an Old English Garden, a wild garden, a white garden, and two 'majestic' cedars on the lawns.

DESCRIPTION

LOCATION, AREA, BOUNDARIES, LANDFORM, SETTING The Rookery, which is fenced in, lies to the south of Streatham Common and to the north-west of Norwood Grove (qv); the boundary to the west lies adjacent to Covington Way from which the gardens are screened by a belt of trees and shrubs. The ground falls away to the south-east where there is a grassed area, shown as an orchard on the OS 1st edition map of 1864; a number of old fruit trees still survive. To the north-east is a yard now used for storage.

ENTRANCES AND APPROACHES The principal entrance to the site is from Streatham Common North, through high wooden gates. A second entrance is provided from the north-east and there are small gates leading from Norwood

Grove and Covington Way.

GARDENS AND PLEASURE GROUNDS The grounds slope from the north-west to the south-east, and from the principal entrance the visitor can walk along tarmac paths laid between lawns planted with shrubs and specimen trees, with views to the south-east over the gardens to Norwood Grove.

A C19 terrace runs from north-east to south-west with seats along the length and a wooden shelter, dedicated to Mr Covington, the chairman of the acquisition committee, at the south-west end.

A flight of stone steps descends down a second grassed terrace where, to the west, one mature cedar of Lebanon survives. Additional steps give access to a lower terrace which is decorated with a pergola. The paved path of the third terrace continues to the south-west and then north, where it joins the upper terrace near the shelter, and to the east where it leads to the water garden and a rockery planted with varied rhododendrons, heather, and spring bulbs. To the south-east, the former kitchen garden of The Rookery has paved geometric paths, a sundial, and a central pool with formal beds around it as well as the site of the 1659 mineral well.

Steps lead through the southern wall of the old kitchen garden to the white garden, where, as the name suggests, only white flowers are grown. This was described in *London Parks and Open Spaces* published by London County Council in 1924 as a unique feature in London parks; it is still (1997) a popular place for people to sit quietly.

REFERENCES

J J Sexby, *The Municipal Parks, Gardens and Open Spaces of London* (1898), pp 230-1
Sir W Besant, *London South of the Thames* (1912), pp 264-5
S Sunderland, *Old London Spas* (1915), pp 127-30
LCC, *London Parks and Open Spaces* (1924), pp 80-2
The Streatham Society, *Pictures From The Past* (1983), pp 14-15
M Brace, *London Parks and Gardens* (1986), pp 98-9

Maps J Rocque, *Plan of the Cities of London and Westminster and Borough of Southwark*, published 1746

OS 25" to 1 mile: 1st edition published 1864 2nd edition published 1893 3rd edition published 1913

Description written: April 1997 Register Inspector: LCH Edited: July 2001

Blue dot indicates
the location
where the photo
on Slide 2 was
taken from



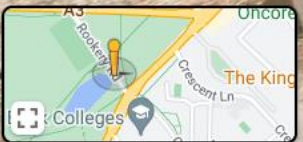
Area of the
former
Rookery
stables



Streetview photo showing location of former Rookery Stables



← Rookery Rd
London, England
Google Street View
Jul 2022 See more dates



Google



Registered
common

Registered
common

Blue dots
indicates the
locations where
the photos on
slides 2 & 3 were
taken from

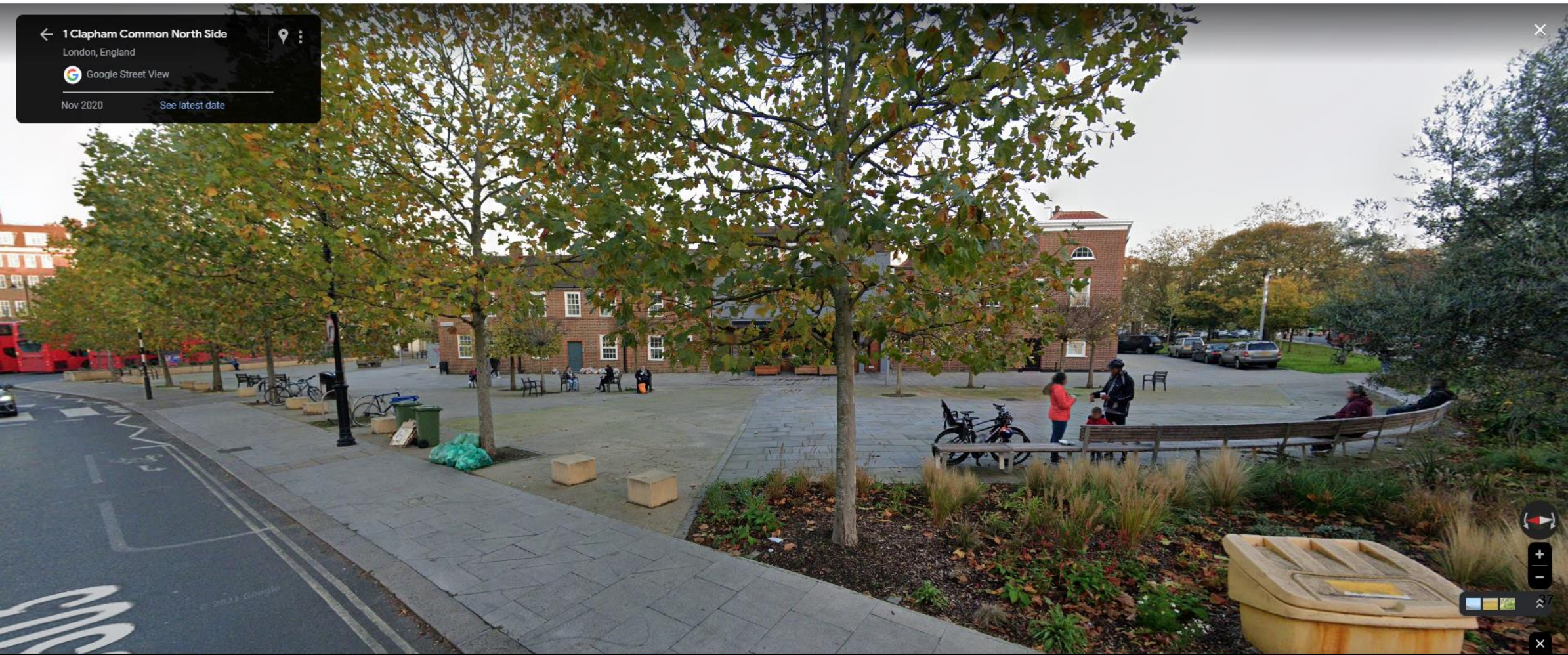


Streetview photo showing land managed as part of Clapham Common in foreground, with registered common land beyond the bus stop



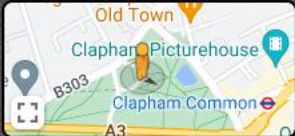
← 27 The Pavement
London, England
Google Street View
Jul 2021 See latest date

Streetview photo showing public open space to the left and in the background, with registered common land in the right foreground



Holy Trinity churchyard (south side), with registered common land beyond the railings

← London, England
Google Street View
Jul 2022

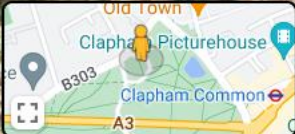


Navigation controls including a compass, zoom in (+) and zoom out (-) buttons, a street view pegman icon, and a home button.

Holy Trinity churchyard (north side), with registered common land beyond the railings



← London, England
Google Street View
Jul 2022



Navigation controls including a compass, zoom in (+) and zoom out (-) buttons, a street view pegman icon, and a full-screen button.

HOLY TRINITY CHURCH, CLAPHAM COMMON, SW4.

CHURCHYARD DEED ANALYSIS SHEET

ADDRESS:	Holy Trinity Church Clapham Common Northside London SW4 0QZ	AREA:	1 Acre approx
TENURE:	Freehold	CONSTRUCTION DATE:	
LISTED:	Grade 2 *	RATEABLE VALUE:	
		CAR SPACES:	All - not lined or allocated
		CONSERVATION AREA:	Yes
DEED INFORMATION Churchyard to LCC			
PARTY 1:	Revd Canon A C Raby -Rector of HTC	CURRENT COUNCIL	London Borough of Lambeth
PARTY 2:	Messrs N Newell & H C Webster -Churchwardens HTC	ADDRESS:	Town Hall Brixton Hill London SW2 1RW
PARTY 3:	The Parochial Church Council of HTC		
PARTY 4:	London County Council	TEL:	020 7926 1000
DATE:	27 March 1963	TERM:	60 years 1/10/1963- 30/9/2023
RENT:	NIL	OPTIONS:	Yes Rector on 6 months notice at any time
REVIEWS:	NIL		
DEMISE:	The Churchyard up to the church walls excluding the West Portico & War Memorial		
DETERMINATION:	<ol style="list-style-type: none"> 1. Council in breach of covenant on written Notice by Rector 2. Rector on 3 months written Notice if part needed for extension of the Church. 3. Rector on 6 months written Notice at any time. 		
PROVISO:	Capital cost recovery provision to be notified to Rector if Council suffers replacement costs prior to early determination		
USER:	Open space, garden or recreation ground for public use		
ACCESS:	Public entitled to free access each day sunrise to sunset or as agreed.		
RESERVATION:	The Rector is entitled to exclusive use of the Churchyard for up to 6 days a year when it may be closed to the public.		
CHURCHYARD MAINTENANCE:	EXTERNAL: Council - ALL	INTERNAL: N/A	
DUTIES:	<ol style="list-style-type: none"> 1. Council to maintain the churchyard to be clean & tidy of litter 2. Council to maintain and replace all walls, fences, boundaries, roads, gates & pathways 3. Council to resurface roadways in materials approved with Rector 4. Council to maintain and replace any dead or diseased trees 5. All costs of maintenance responsibility of Council. 		
ALTERATIONS:	Council not to alter Churchyard layout without approval. No constructions allowed except replacement of tool houses or refuse enclosures.		
NOTICE BOARDS:	The Church reserve rights to erect and maintain Church related Notice Boards at their own cost.		
RIGHTS OF WAY:	Access to the Church via the pathways; services, drains and utilities serving the Church. Access and parking of cars reserved to Church.		
YIELD UP:	Council to yield up the Churchyard in good repair and condition at expiry of the term.		

J. Clark 21/8/2021



THIS DEED is made the Twenty Seventh day of

March One thousand nine hundred and sixty-three

BETWEEN THE REVEREND CANON ALFRED CHARLES RABY Incumbent of the Parish of Clapham (Holy Trinity) in the County of London and Diocese of Southwark Clerk in Holy Orders (hereinafter called "the Rector") which expression where the context so admits shall include his successors) of the first part and NELSON NEWELL and HAROLD CHAPPELL WEBSTER the Churchwardens of the said Parish (hereinafter called "the Churchwardens") of the second part THE PAROCHIAL CHURCH COUNCIL OF HOLY TRINITY of Clapham aforesaid of the third part and THE LONDON COUNTY COUNCIL (hereinafter called "the Council") which expression shall where the context so admits include its successors and assigns) of the fourth part

WHEREAS :

(1) The premises hereinafter described are a Churchyard (not being a Burial Ground) and are situate within the Administrative County of London aforesaid and the freehold title of the same is vested in the Rector by virtue of his office of Incumbent of the Parish of Holy Trinity Clapham

(2) Pursuant to the provisions of the Open Spaces Act 1906 the parties hereto have agreed for the care and management of the said premises by the Council in the manner hereinafter appearing

NOW THIS DEED WITNESSETH as follows :

1. IN PURSUANCE of the said agreement and in consideration of the covenants by the Council hereinafter contained the Rector hereby declares that ALL THAT parcel of land (hereinafter referred to as "the Churchyard") situate at Clapham in the County of London containing by admeasurement one acre or thereabouts and known as Holy Trinity Churchyard as the same is more particularly delineated, in the Plan annexed hereto and thereon coloured green and brown SUBJECT to all existing rights and easements affecting the same is hereby made available to the Council on the terms hereinafter contained for the purposes of the Open Spaces Act 1906

2. IN CONSIDERATION of the declaration hereinbefore contained the Council hereby covenants with the Rector as follows :

(a) FOR the term of sixty years (subject to the provisions of Clause 5 hereof) commencing on the First day of October One thousand nine hundred and sixty-three to maintain and manage the Churchyard as an open space and garden or recreation ground for the public use and for no other purpose whatsoever save as hereinafter appearing

(b) SUBJECT to the provisions of Clause 3(e) hereof to keep the Churchyard open to the public every day during the year from sunrise

to sunset or during such other longer hours as the Council may from time to time direct free of charge to the public _____

(c) NOT to erect or permit the erection of any building upon the Churchyard except such as shall be required to replace toolhouses or refuse enclosures upon the same _____

(d) AT all times to keep the Churchyard clean tidy and free of litter and/repair and to keep the same and the walls fences boundaries and supports of the same in good repair and condition AND FURTHER to maintain in a sound and proper condition the paths drives and areas indicated by the colour brown on the said plan Together with such further drives path and areas for the parking of vehicles or other purposes as may from time to time be agreed between the parties hereto PROVIDED THAT such the Council shall only resurface such paths drives and areas in a material approved by the Rector _____

(e) TO keep at the points marked A and B on the plan annexed hereto in a good order of maintenance and preservation the gates situate thereat or such other gates of a pattern approved by the Rector as may be substituted therefor _____

(f) NOT to alter the landscaping and layout of the premises or the positions of the gates walls paths or fences thereof without the previous consent of the Rector and any Ecclesiastical Municipal or other competent authority having jurisdiction over the same _____

(g) NOT to place any seat within ten feet of the fabric of Holy Trinity Church and not to permit games or sports to be played in the Churchyard nor permit the playing of bands therein nor do or permit or suffer to be done any act or thing which would be a desecration of the Churchyard or disturb any service or activity in or cause or show disrespect to Holy Trinity Church aforesaid _____

(h) NOT to permit any political or religious meeting to be held in the Churchyard nor to do or permit or suffer to be done therein anything that may be a nuisance or annoyance to owners or occupiers of property in the neighbourhood of the said Churchyard _____

(i) NOT to cause or permit the parking of vehicles in the Churchyard or any part thereof (which right shall be reserved unto the Rector as hereinafter appears) _____

(j) NOT to do or permit or suffer to be done any act or thing which it would not be lawful for the Rector to do or permit or suffer to be done without first obtaining a faculty _____

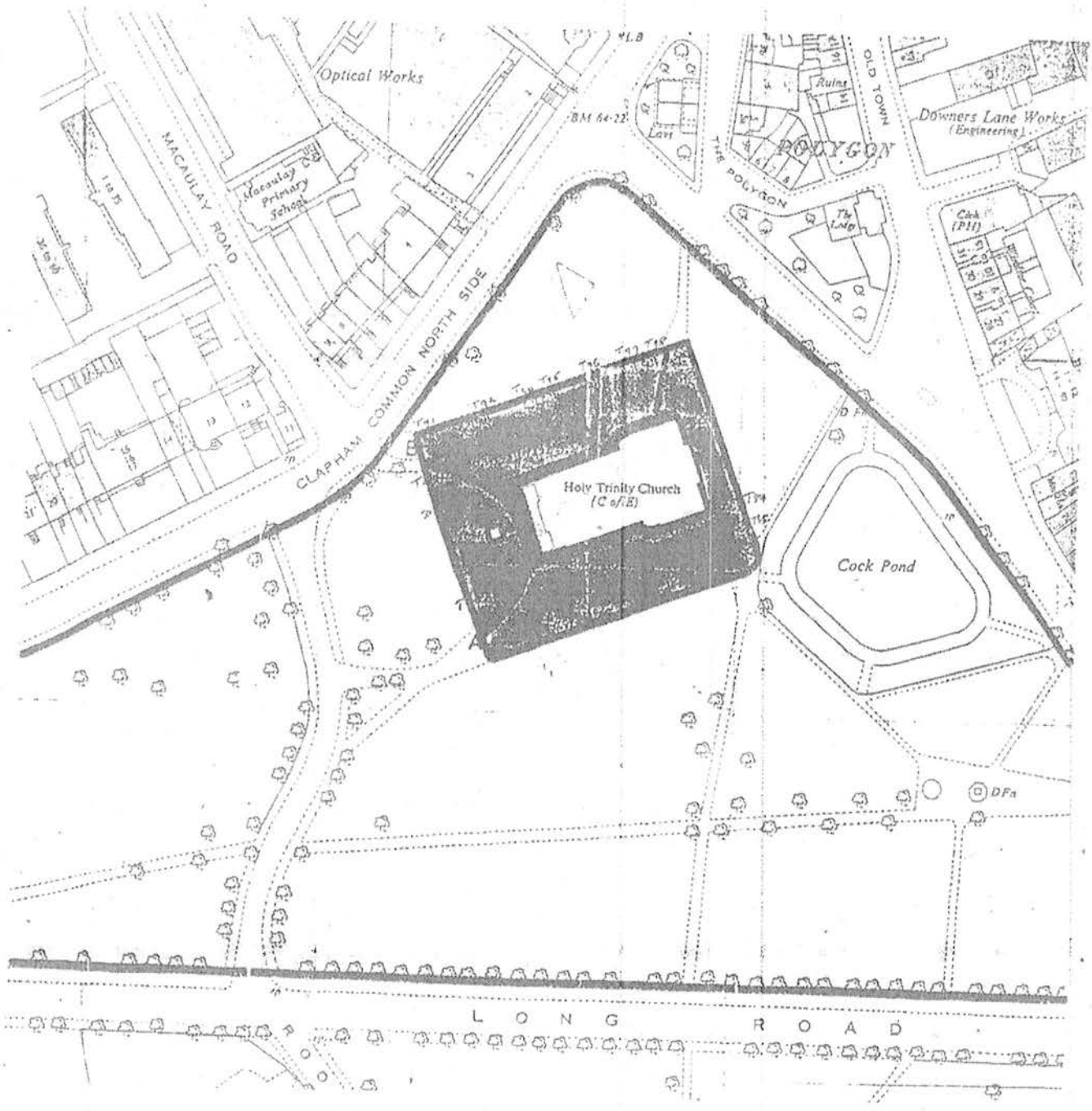
(k) AT its own expense to obtain such faculty and other licence and consent of such Ecclesiastical Municipal or other competent authority as shall from time to time be required for the grant of this Agreement or

Parish Church of the Holy Trinity

Manham Common

clean tidy and free of litter
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 to be played in the Churchyard
 or do or permit or suffer to be
 desecration of the Churchyard or
 abuse or show disrespect to Holy
 religious meeting to be held in the
 or to be done therein anything
 owners or occupiers of property
 Churchyard
 vehicles in the Churchyard or
 to be driven into the Rector as
 or thing which it

Parish Church of the Holy Trinity Clapham Common



for any alterations to or other work or matter proposed in respect of the Churchyard

(l) TO employ a sufficient number of custodians to prevent nuisances and preserve order in the Churchyard and ~~shall~~ in particular by all means in its power to prevent any use of the Churchyard which may be or become a nuisance or annoyance to the Rector and to persons attending at Holy Trinity Church

(m) NOT to delegate its powers and obligations under this agreement and not to part with possession of the Churchyard or any part thereof

(n) WITHOUT prejudice to the generality of the foregoing to maintain all trees in the Churchyard and to replace any dead or diseased trees

(o) ON the determination of the term of this agreement whether by effluxion of time or other cause to yield up to the Rector the Churchyard and the gates and appurtenances thereof in such good state of repair and condition as is hereinbefore required

3. THE following specific rights in the Churchyard are hereby reserved to the Rector notwithstanding that they may derogate from the rights of the Council and the public hereinbefore declared:

(a) The right to free passage of water soil electricity and other services through the drains and cables laid or hereafter to be laid through the Churchyard

(b) The right to conduct Remembrance Day and other services at the War Memorial marked on the said plan

(c) The right for the Rector at all times to erect and maintain in the Churchyard such notice boards relating to Holy Trinity Church and the organisations connected therewith as he shall consider necessary

(d) The right for the Rector and the Council and congregation of the Holy Trinity Church Clapham at all times to pass and repass on foot or with vehicles over and to park such vehicles upon the land coloured brown on the plan annexed hereto and over and upon any further drives paths and parking areas which shall be laid out by agreement of the parties

(e) The right for the Rector to have the exclusive use of the Churchyard for the purposes of Holy Trinity Church Clapham or other Church or charitable objects for any period not exceeding six days (not necessarily being consecutive days) in any calendar year upon which days the Churchyard may be closed to the public

4. ALL expenses incurred by the Council in and about the maintenance care and management of the Churchyard and otherwise in or about the

premises shall be paid by the Council out of its own funds and the Council shall indemnify the Rector against all such expenses and against any rates taxes and assessments that may at any time during the currency of this agreement be payable in respect of the Churchyard

5. THIS Agreement may be terminated before the expiration of the said period of sixty years in the following events:

SIGNED SEAL
above names
the present

(a) If the Council shall commit any breach of the covenants and conditions herein contained on its part to be observed the Rector may by notice in writing terminate this Agreement and all powers conferred thereby upon the Council shall thereupon cease and determine

SIGNED SEAL
above names
presence of

(b) The Rector may by giving to the Council three months notice in writing to that effect resume possession of any part of the Churchyard as shall be required for the extension of the Holy Trinity Church Clapham or building works connected therewith PROVIDED THAT in the event of this right being exercised by the Rector and the Council considering that the remainder of the site is unsuitable for management the Council may then determine the term of this Agreement with regard to the remainder of the Churchyard by service upon the Rector of not less than six months written notice to that effect

SIGNED SEAL
above names
in the present

(c) This Agreement may be determined by the Rector or his successor giving to the Council six months notice in writing to that effect upon the expiration of which the Council will relinquish its rights in the Churchyard

SIGNED SEAL
above names
and MICHAEL
and EVELYN

in the present

6. THE Council shall notify the Rector of its intention to carry out any works of a capital nature (whether by way of maintenance or repair) under the provisions of this Agreement and of the probable cost thereof and of the period during which the benefit of such works is expected to continue The Rector or his successor shall upon the determination of this Agreement under the last preceding sub-clause pay to the Council such proportion of the cost of such works as the period from the date of determination to the expiry of either (a) the term or (b) the period during which the benefit of such works was expected to continue (whichever is the earlier) bears to the period from the date of completion of such works to either of such dates as aforesaid

SEALED BY C
COUNCIL

I N W I T N E S S whereof the Rector and the Churchwardens have hereunto set their hands and seals and pursuant to a Resolution passed at a duly convened meeting of the ^{said} Parochial Church Council

ARTHUR WILLIAM BAKER ----- and

MICHAEL MAURICE JAMES HALL ----- and EVELYN GRACE VARNDELL

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Council
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gardens have
on passed

said
being members of the Parochial Church Council present at such meeting
have herunto set their hands and seals and the Council has caused its
Common Seal to be herunto affixed the day and year first above written

SIGNED SEALED and DELIVERED by the
above named ALFRED CHARLES RABY in
the presence of :

Alfred Raby

G. M. Murray & Parkes
2. High Street
Kingston-upon-Thames
Surrey

SIGNED SEALED and DELIVERED by the
above named NELSON NEWELL in the
presence of :

Nelson Newell

G. M. Murray & Parkes
as above

SIGNED SEALED and DELIVERED by the
above named HAROLD CHAPPELL WEBSTER
in the presence of :

H. Chappell Webster

G. M. Murray & Parkes
as above

SIGNED SEALED and DELIVERED by the
above named ARTHUR WILLIAM BAKER
and MICHAEL MAURICE JAMES HALL
and EVELYN GRACE VARNDELL

Arthur Baker
M. M. J. Hall
E. G. Varnell

in the presence of :

G. M. Murray & Parkes
as above

SEALED BY ORDER of the LONDON COUNTY
COUNCIL in the presence of :

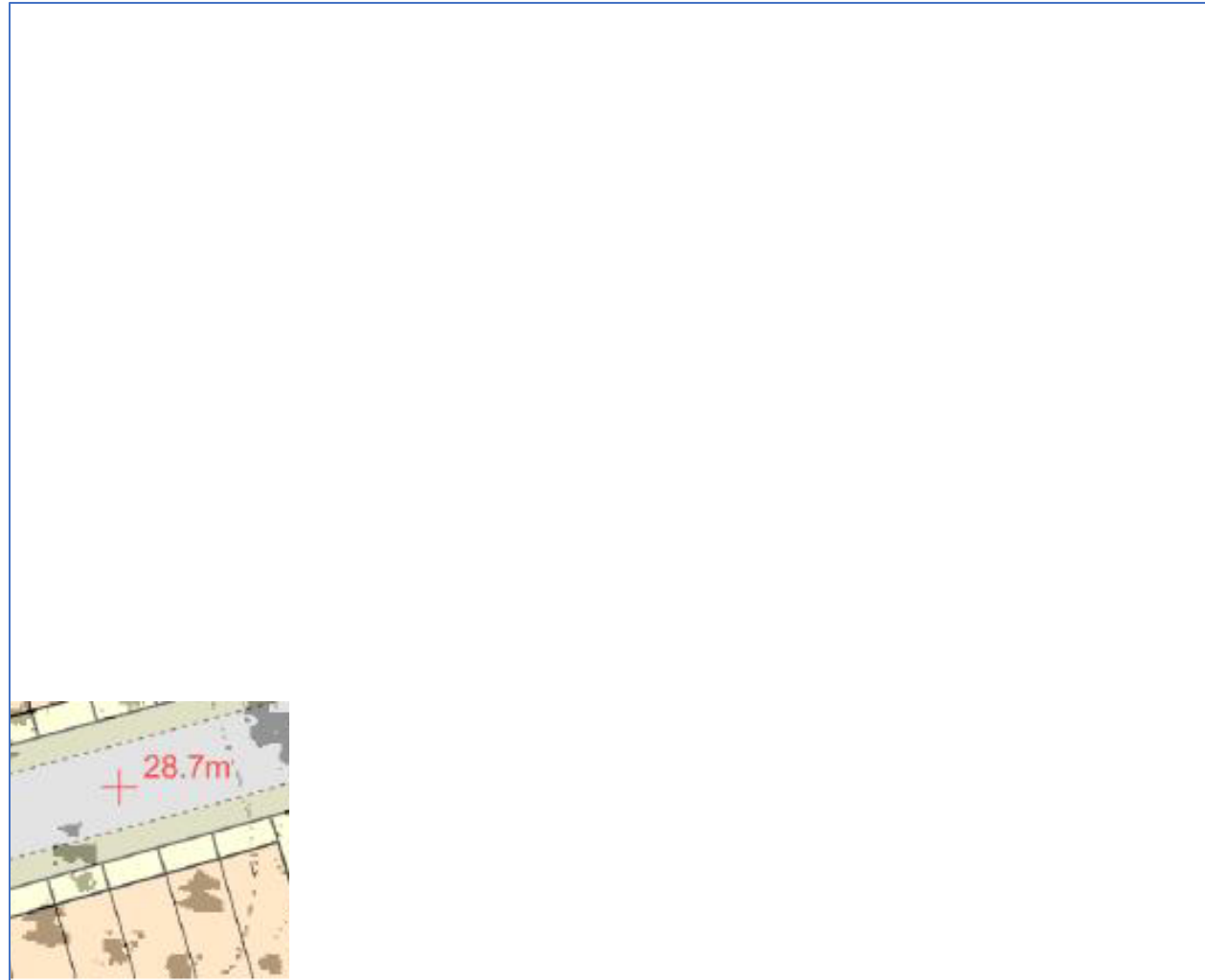
M. J. Ward

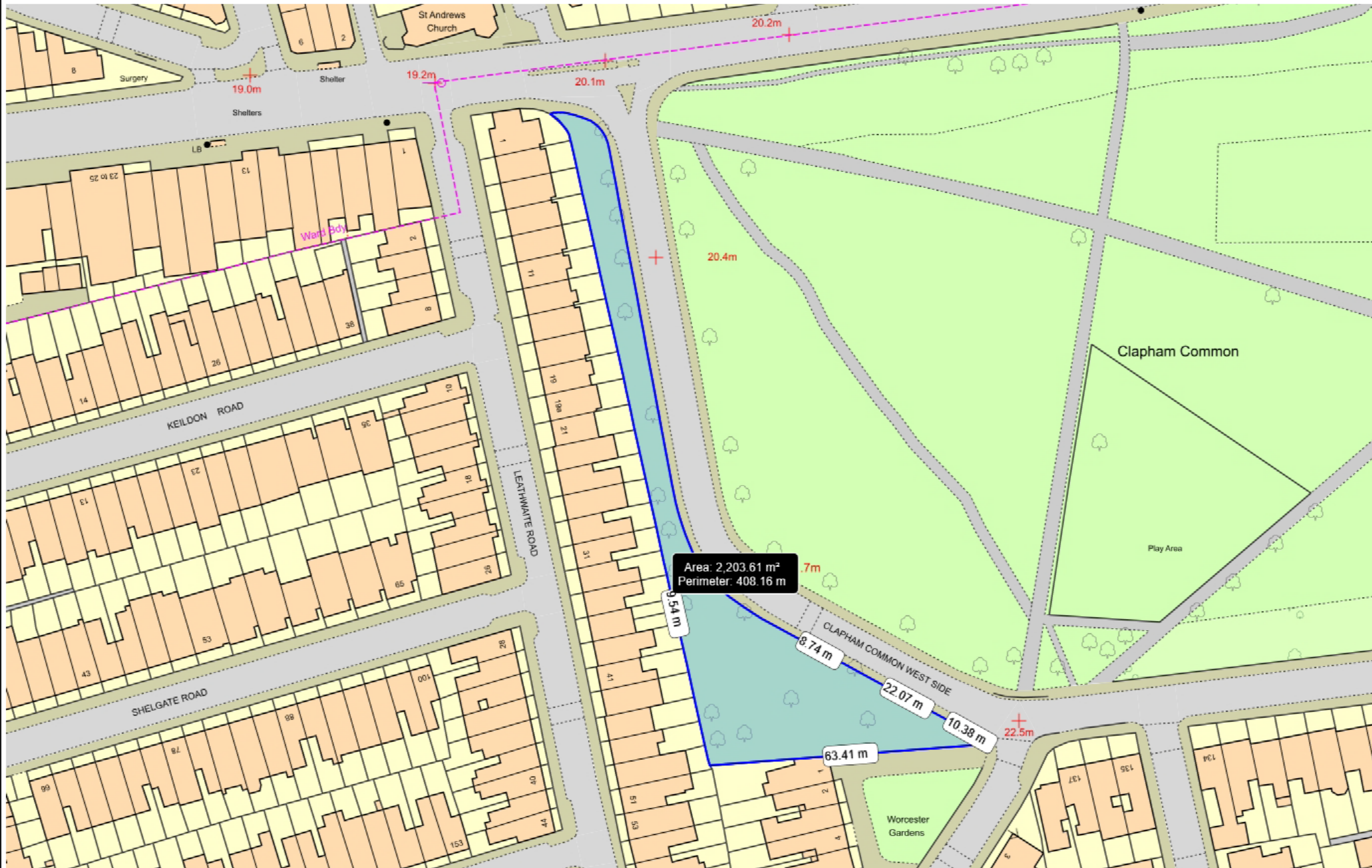
Clerk of the Council.

Streetview photo taken from Clapham Common Westside opposite Culmstock Road. A small crescent of land in the foreground is not registered common land, but is indistinguishable from the common land around it



Area of the crescent of land (477.82 sqm)



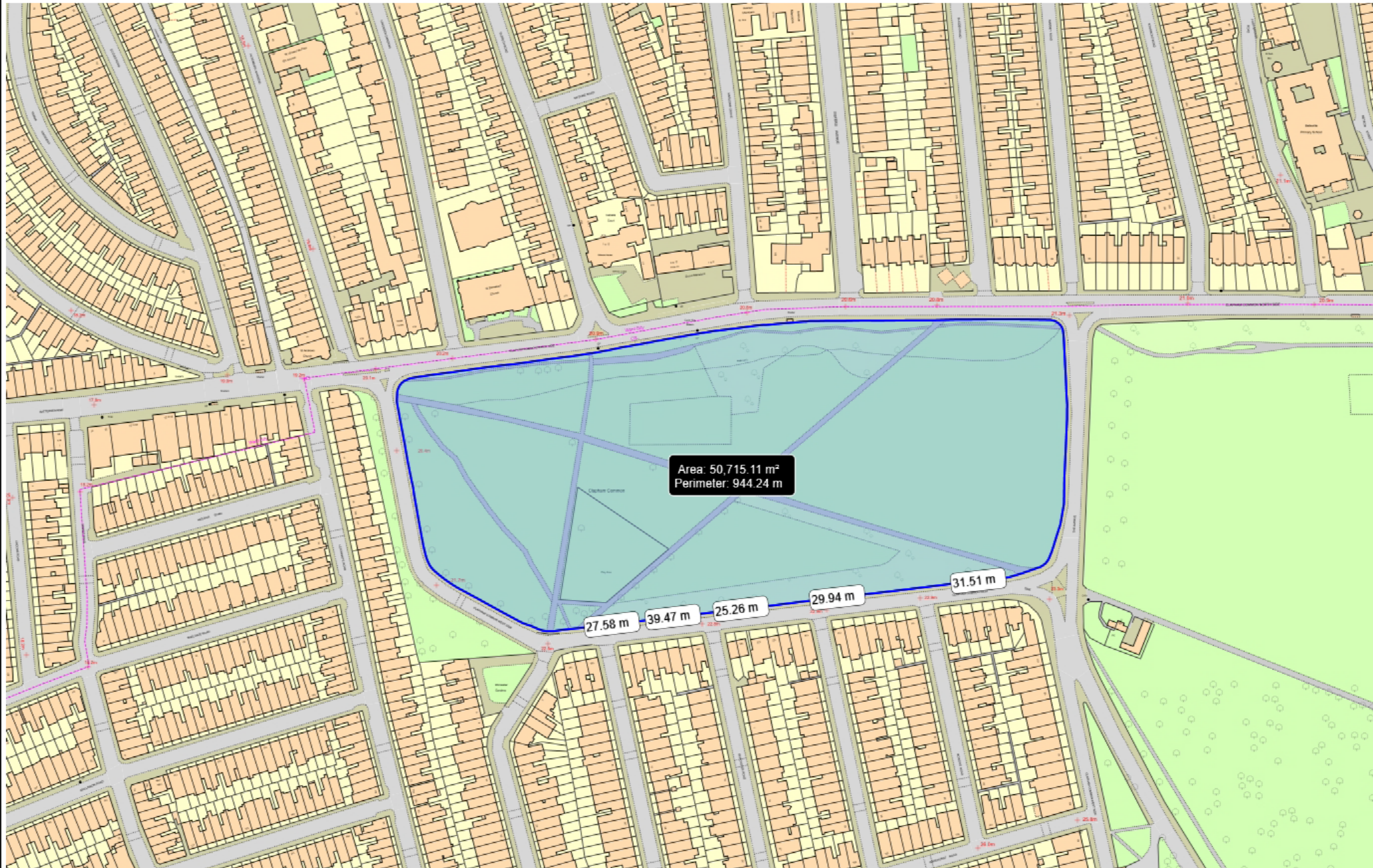


- Borough Boundary
- LambethWardsAndCouncillors

1: 850



- Borough Boundary
- LambethWardsAndCouncillors

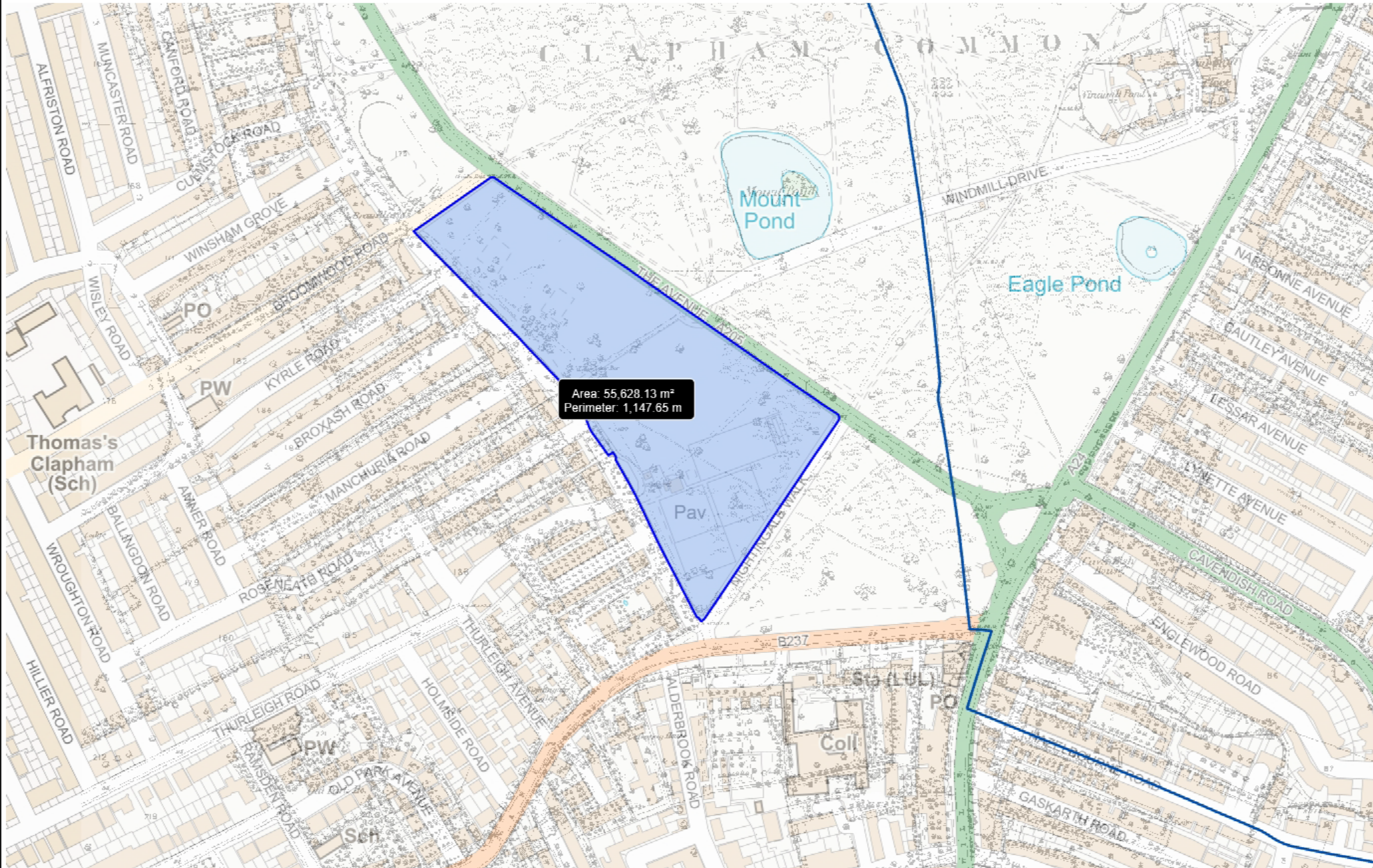




Area: 17,285.81 m²
Perimeter: 809.29 m

1:2,271



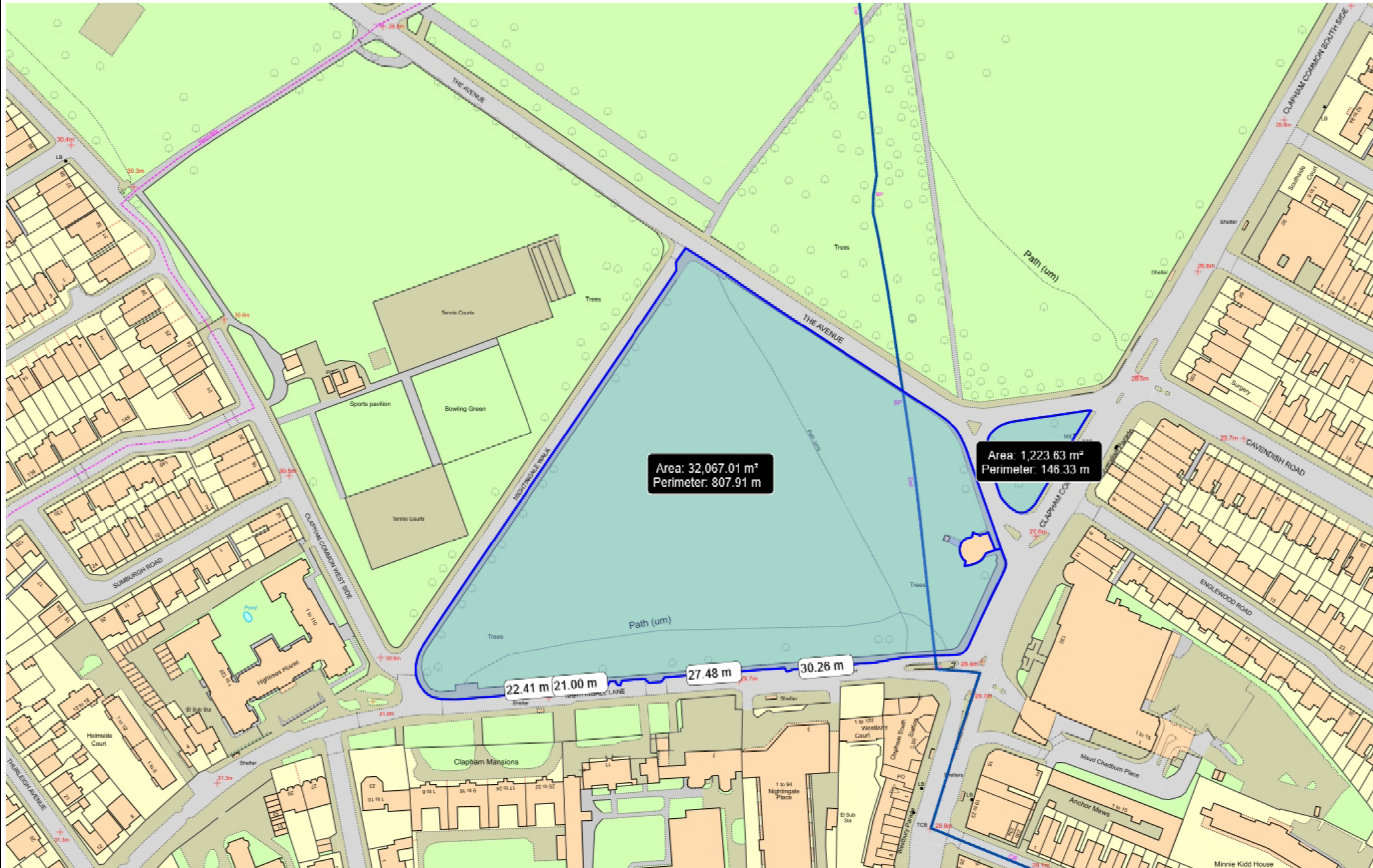


- Borough Boundary
- LambethWardsAndCouncillors

Area: 55,628.13 m²
Perimeter: 1,147.65 m

1:3,401

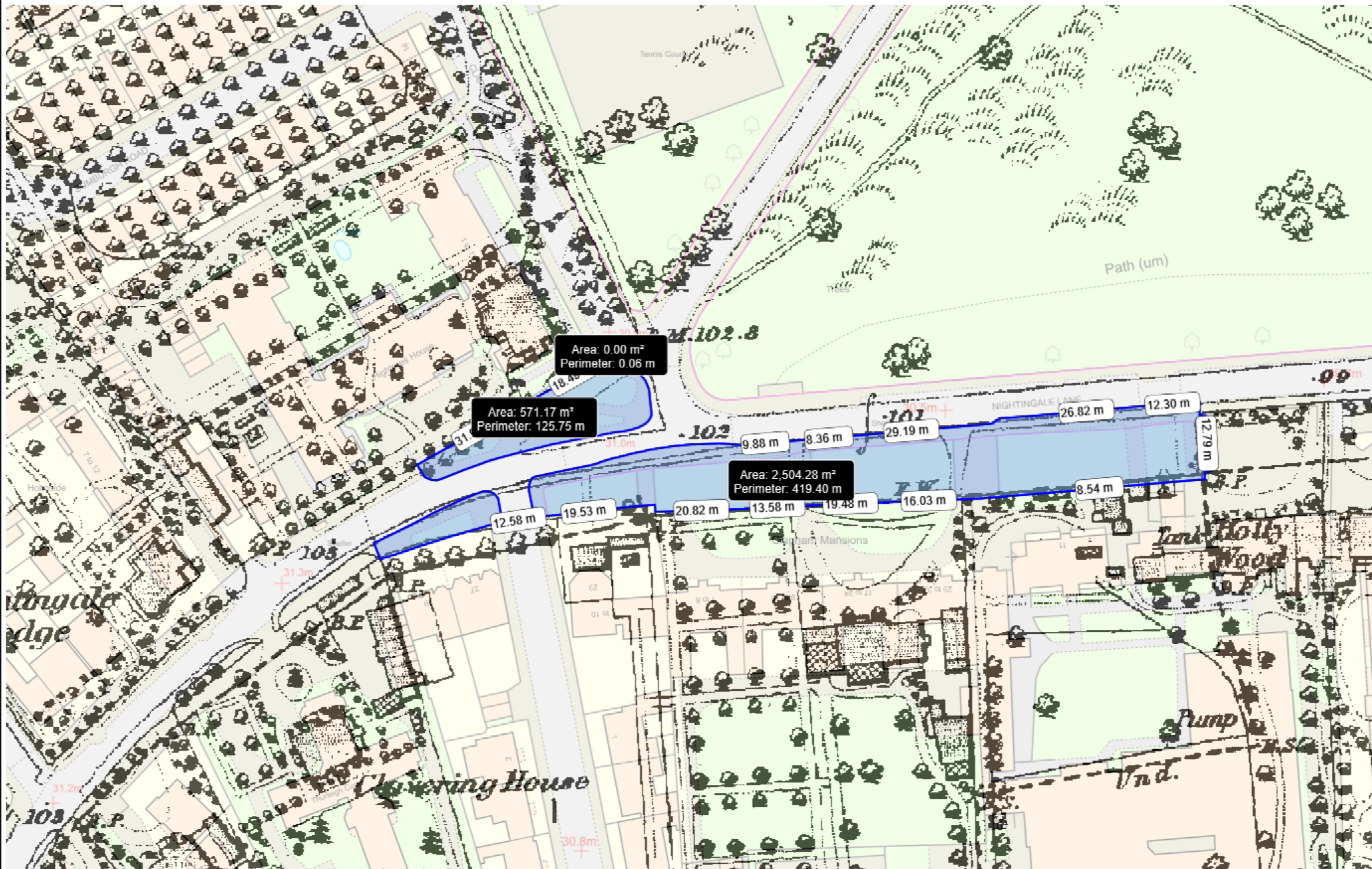




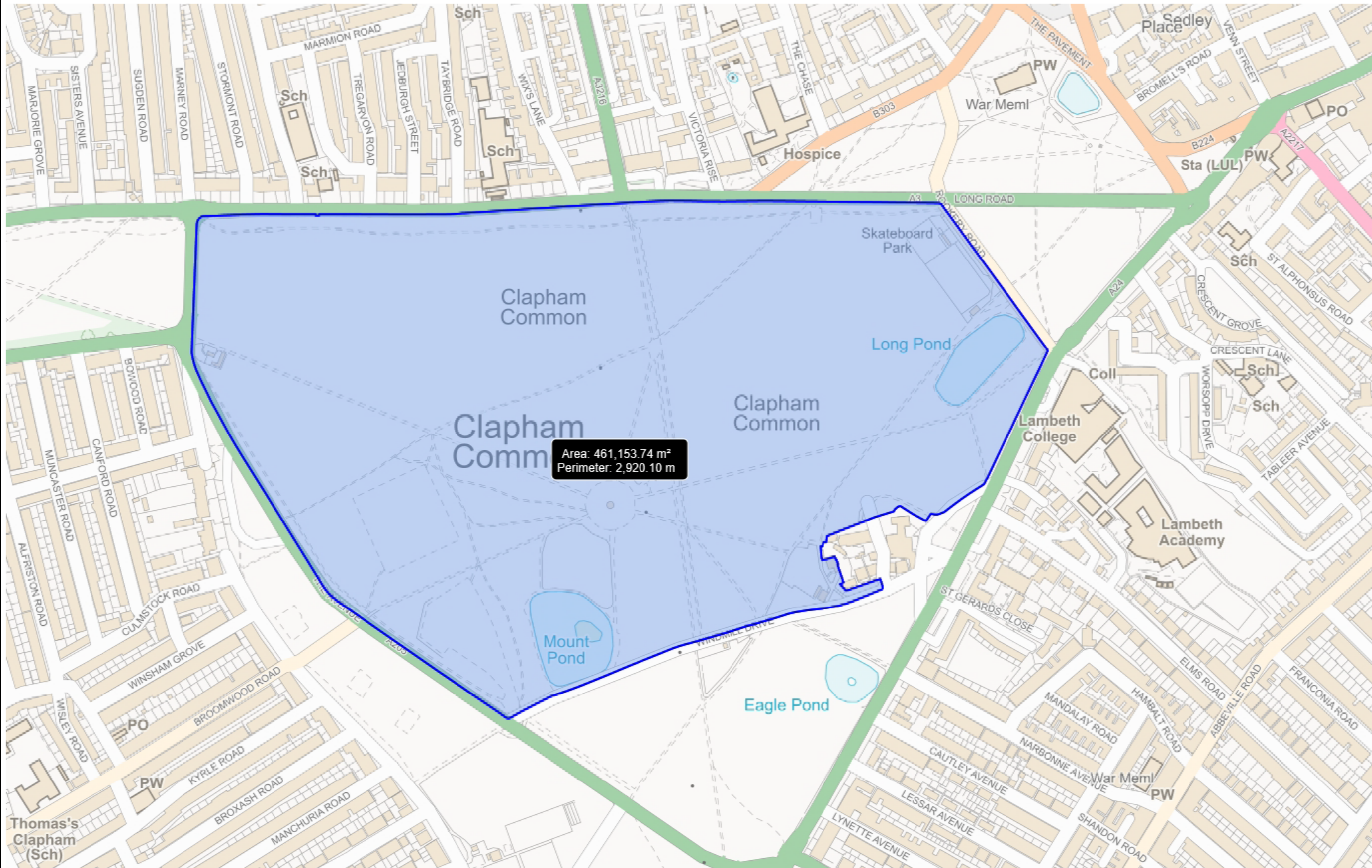
- Borough Boundary
- LambethWardsAndCouncillors

1: 1,700



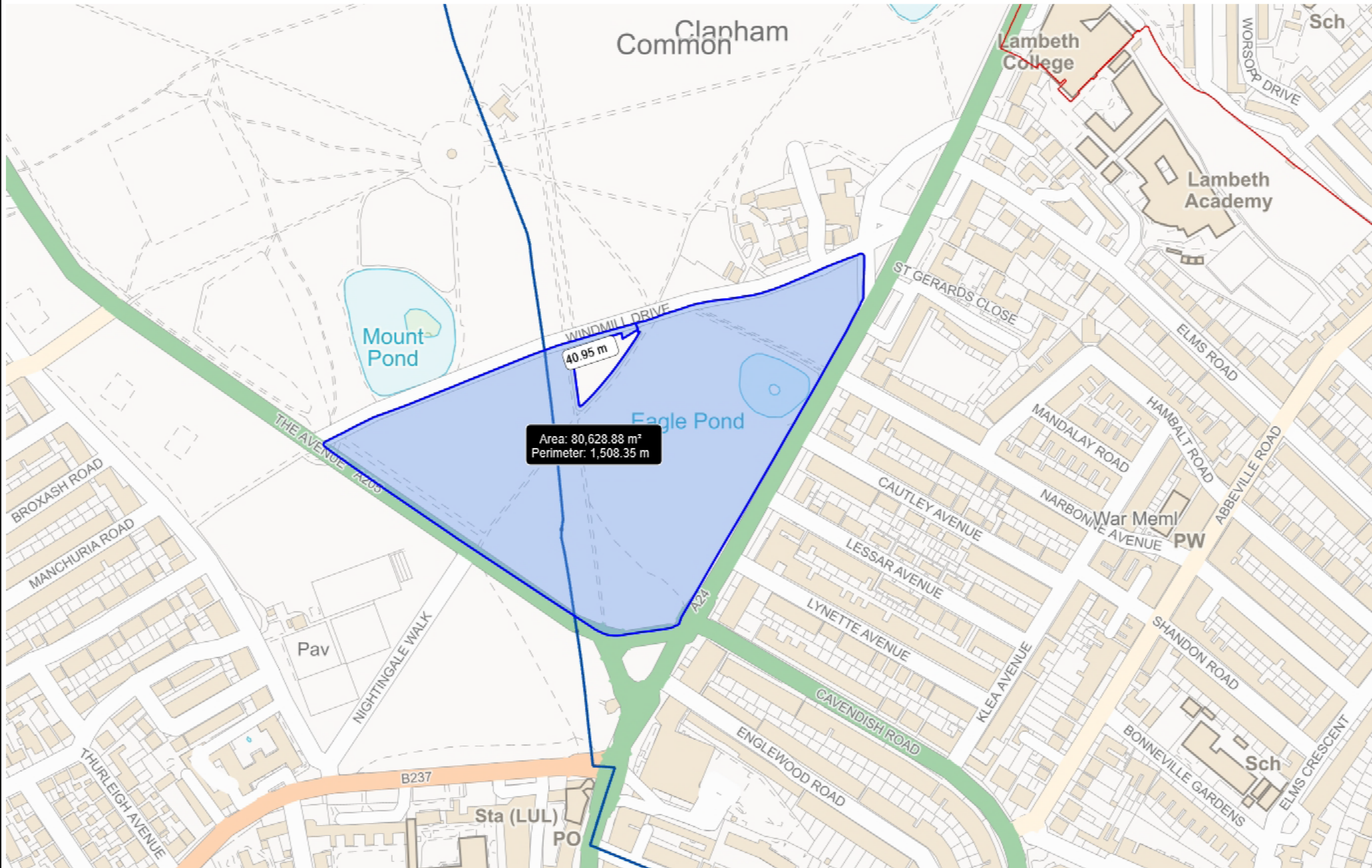


- Borough Boundary
- Lambeth Wards And Councillors
- LBL Land Registry Titles
- Land Registry Titles



1:4,542





- Borough Boundary
- Lambeth Wards And Councillors

1:3,401





- London Cycle Hire Scheme
- Borough Boundary
- Lambeth Wards And Councillors
- Ultra Low Emission Zone
- Congestion Charge Zone
- EV Charge Points
- TFL CCTV Cameras
- Underground Stations
- Train Stations
- London River Bus Stops
- Lambeth Bus Stops
- Street Lighting
- Lambeth Gullies
- Road Classifications
 - Borough Road
 - Local Distributor Road
 - London Distributor Road
 - Transport for London Road Network
 - Private Road
 - TLRN Side Road (LBL maintain)
 - Housing Road
 - Private Forecourt
 - Borough Road - Pedestrian
 - Housing - Pedestrian
 - Private - Pedestrian
 - Housing Association Road
 - Housing Association - Pedestrian
 - Towpath
 - Parks
 - Highway Verge maintained by Park
 - <all other values>

1: 850

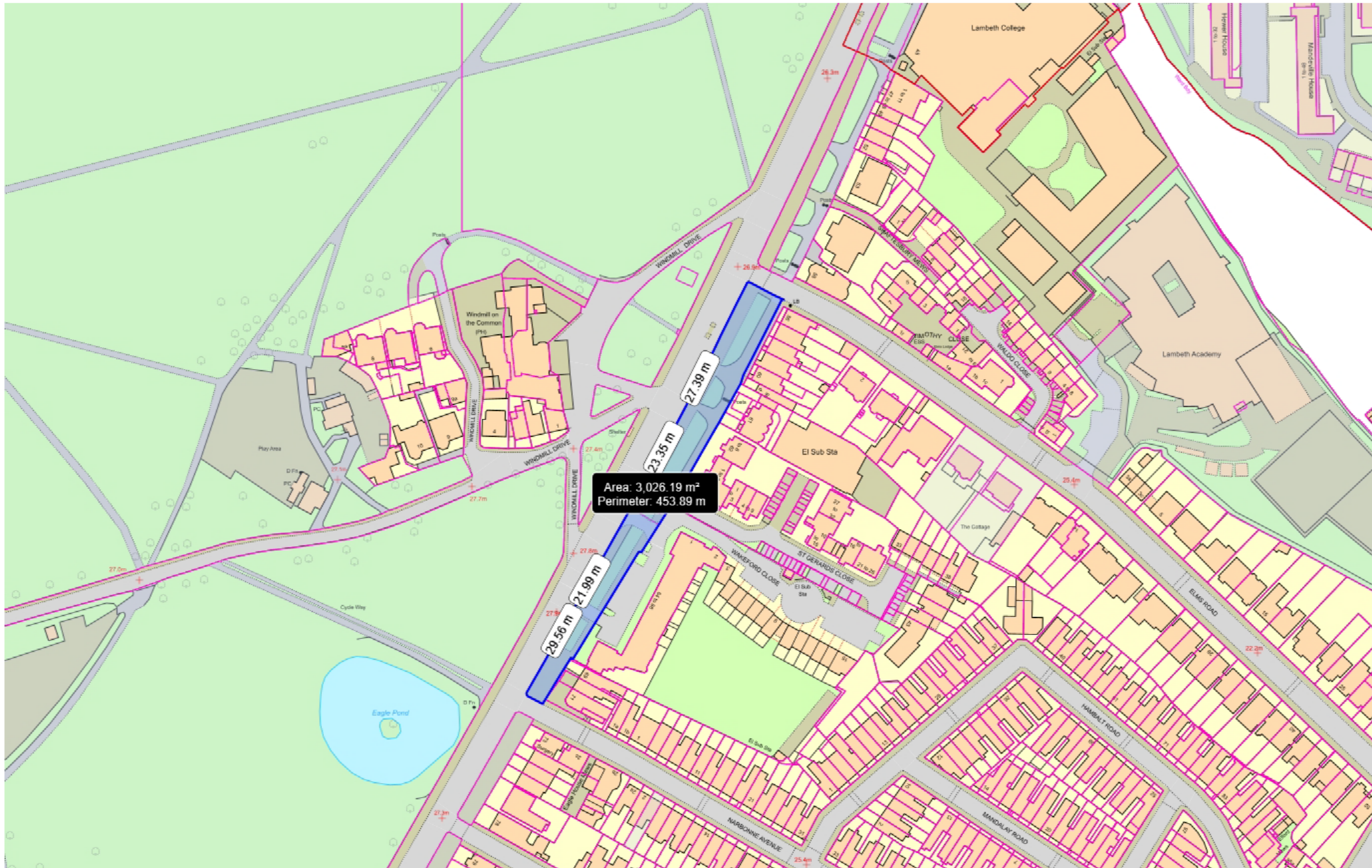




- Borough Boundary
- Lambeth Wards And Councillors
- LBL Land Registry Titles
- Land Registry Titles

1: 1,700





- Borough Boundary
- Lambeth Wards and Councillors
- LBL Land Registry Titles
- Land Registry Titles

Area: 3,026.19 m²
Perimeter: 453.89 m

1: 1,700

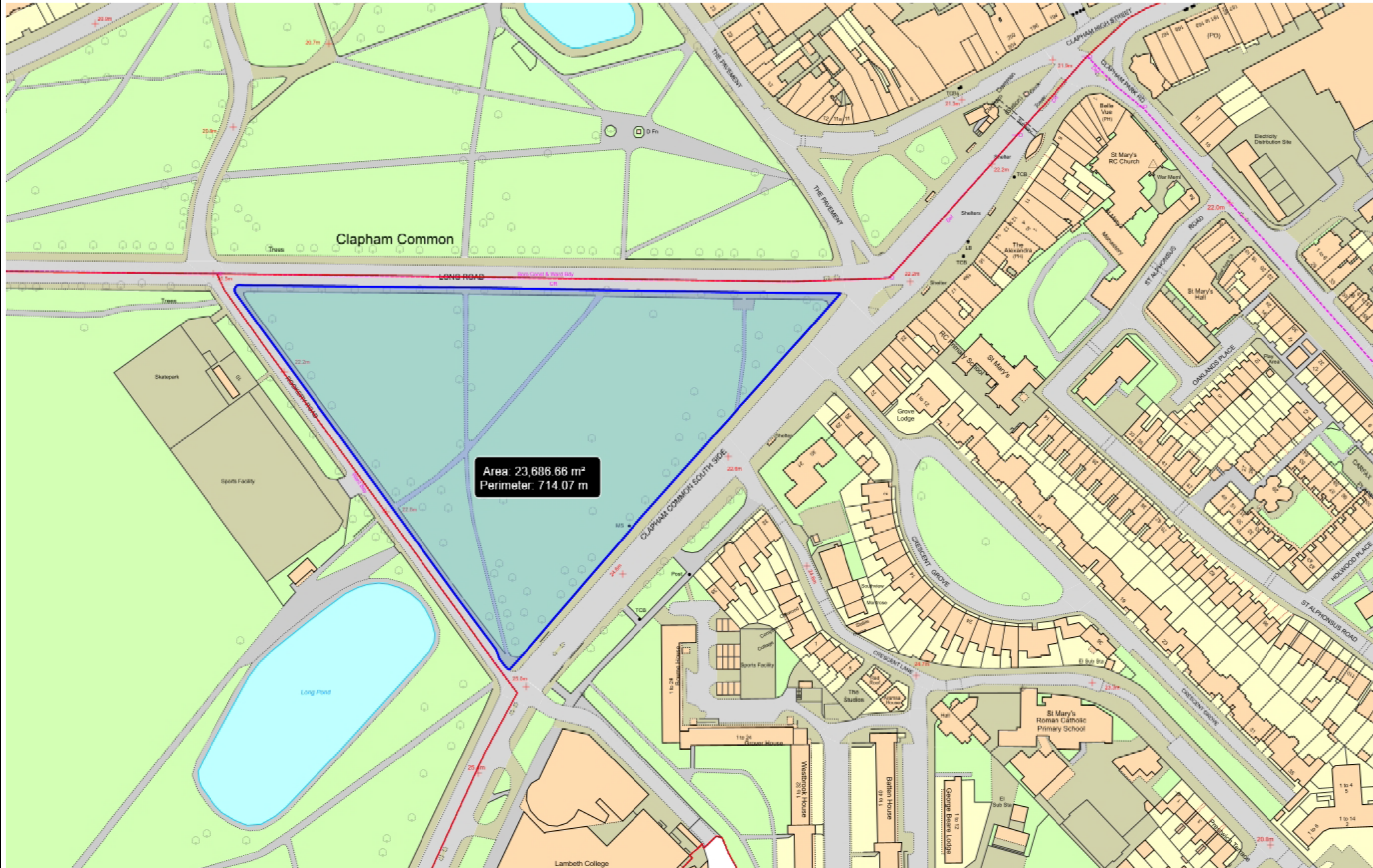




- Borough Boundary
- Lambeth Wards And Councillors
- LBL Land Registry Titles
- Land Registry Titles

1:2,188





- Borough Boundary
- LambethWardsAndCouncillors

1: 1,700

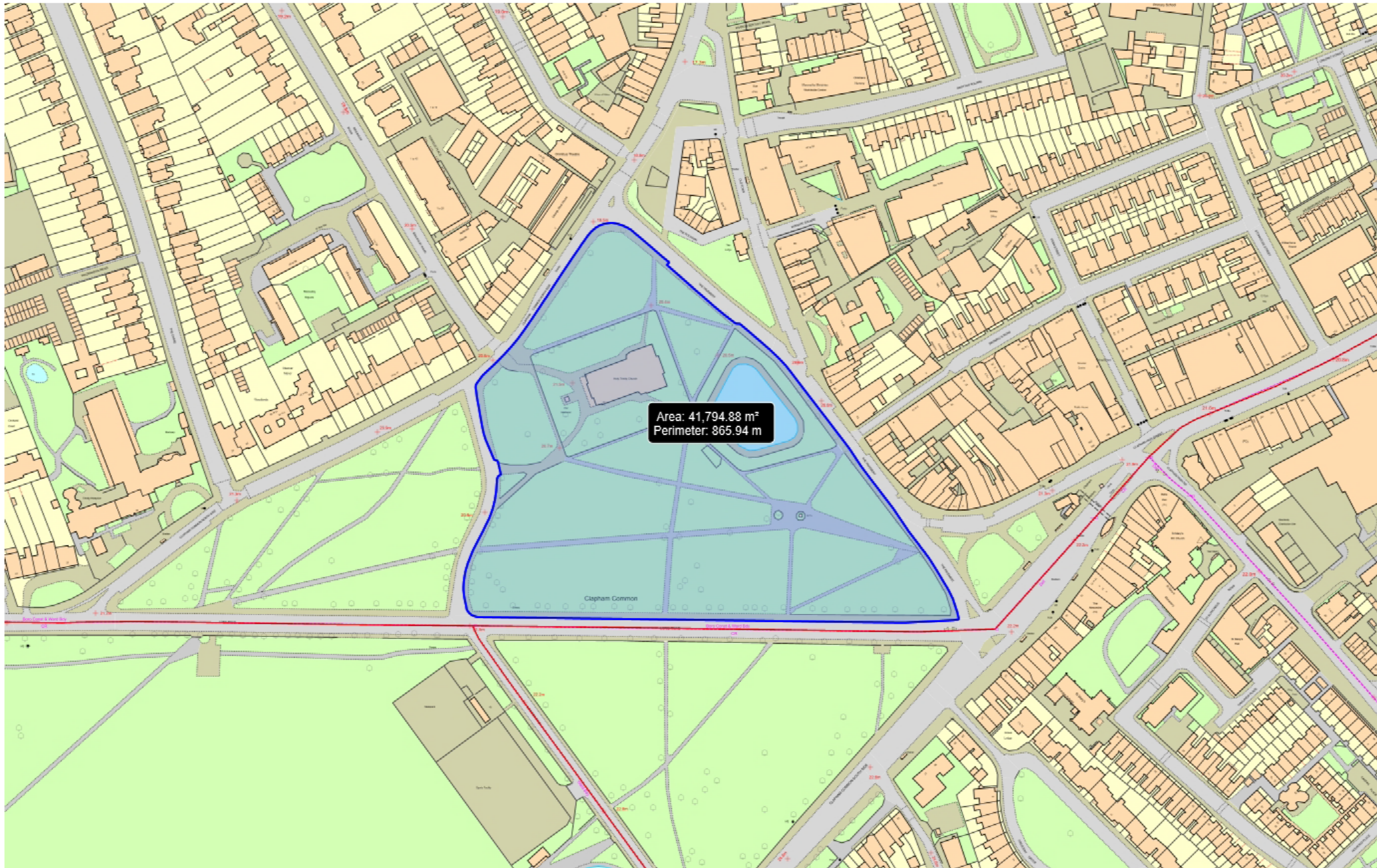




- Borough Boundary
- Lambeth Wards And Councilors
- LBL Land Registry Titles
- Land Registry Titles

1: 1,094





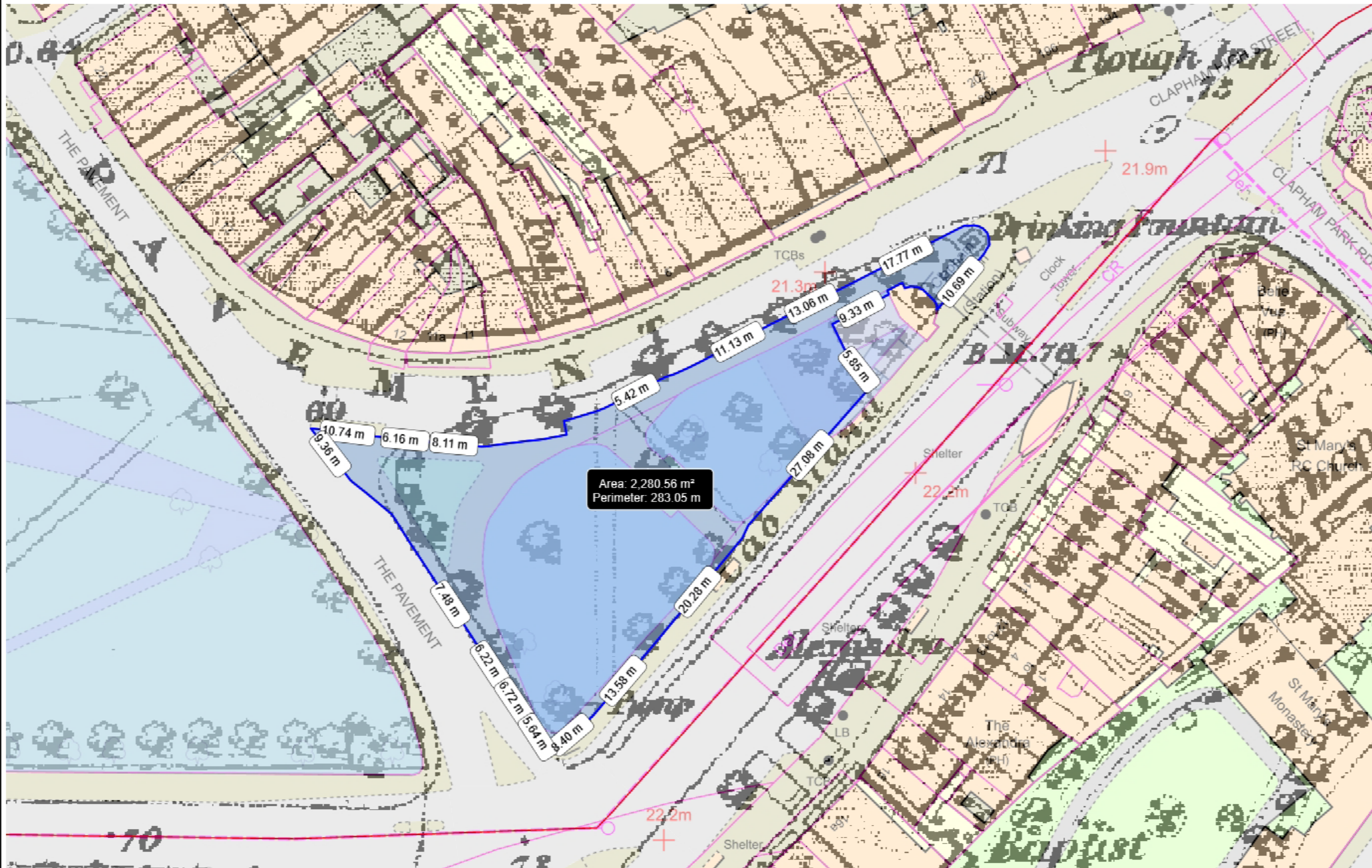
- Borough Boundary
- LambethWardsAndCouncillors

Area: 41,794.88 m²
Perimeter: 865.94 m

Clapham Common

1:2,188

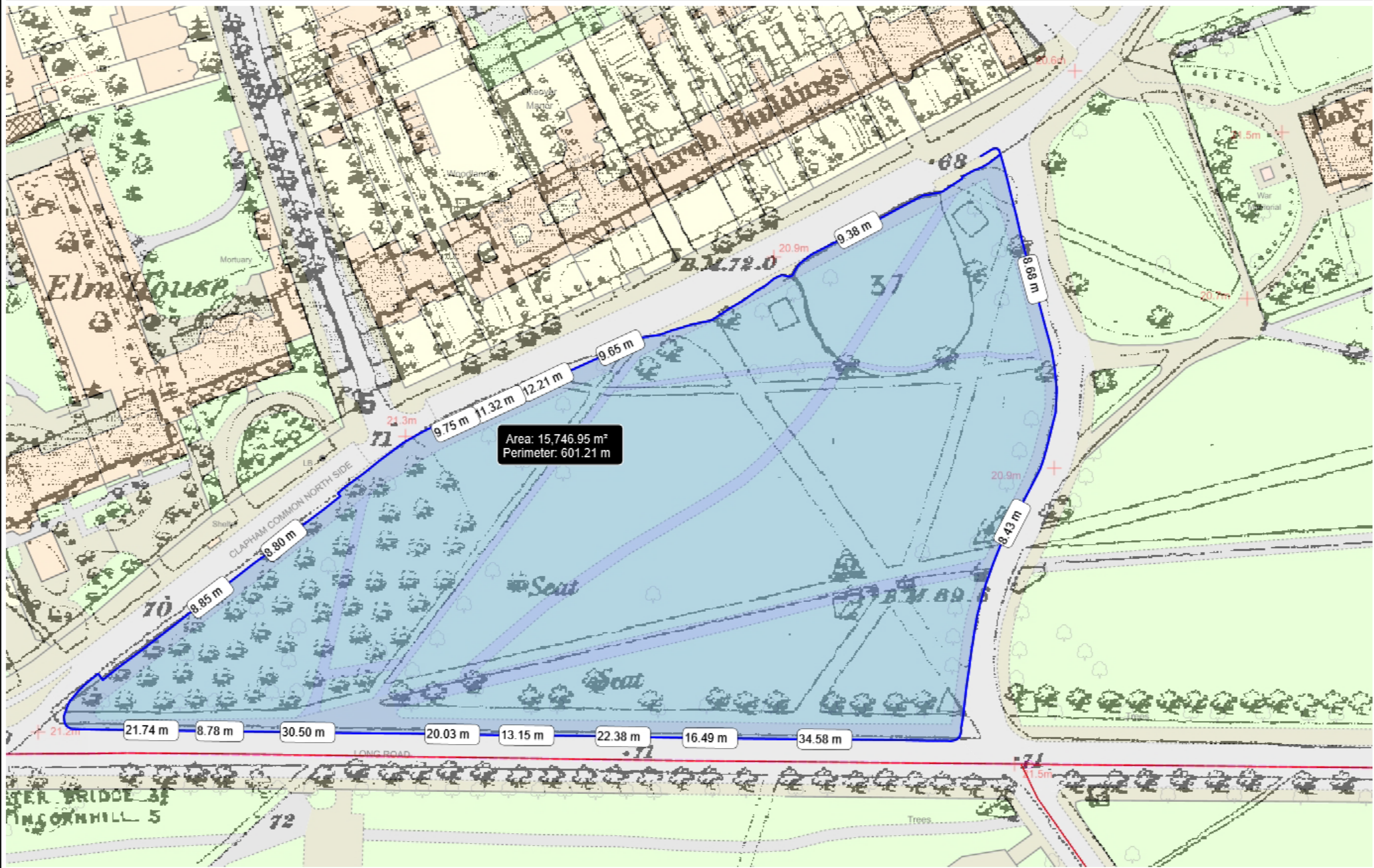




- Borough Boundary
- Lambeth Wards And Councillors
- LBL Land Registry Titles
- Land Registry Titles

1: 547



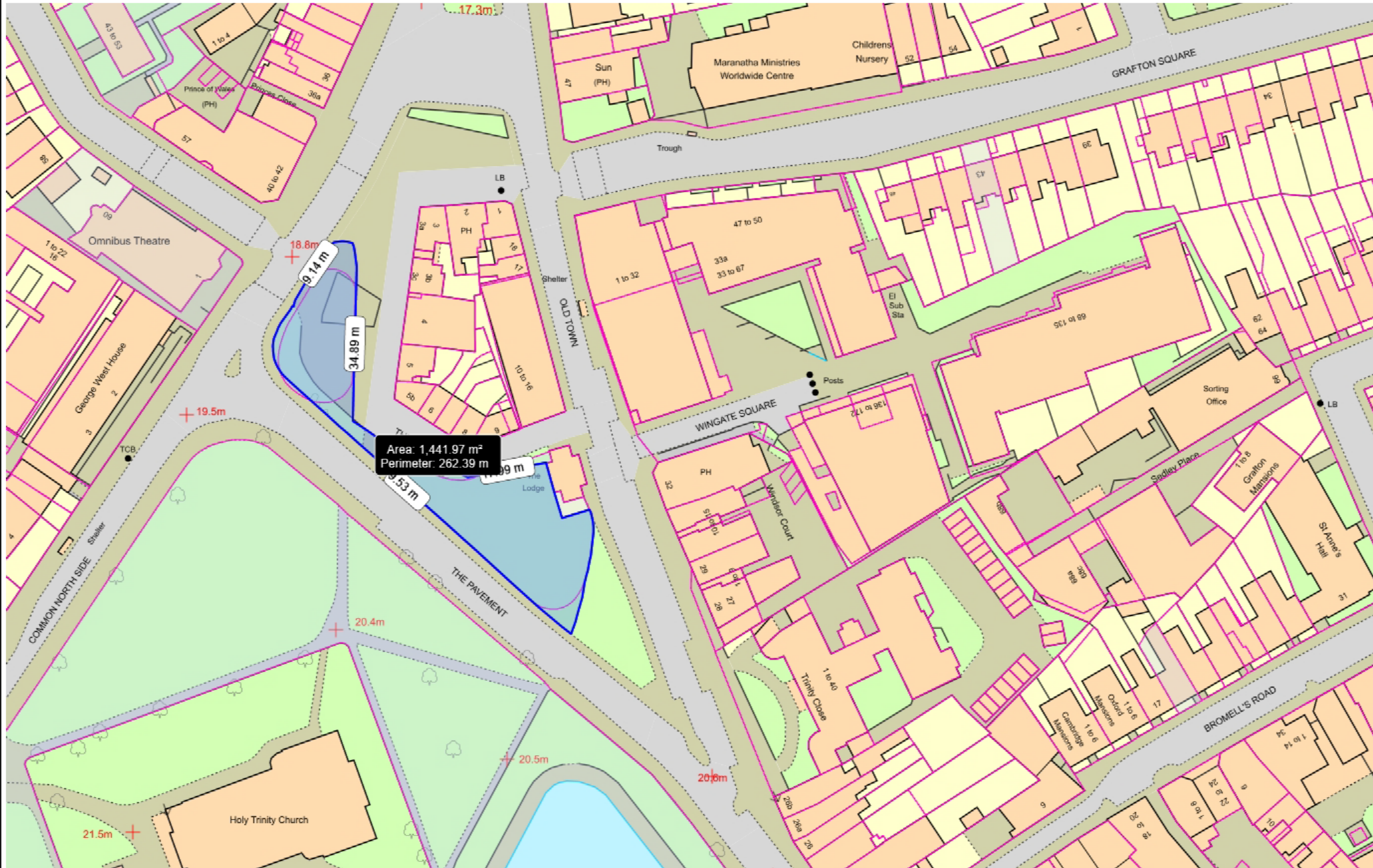


- Borough Boundary
- LambethWardsAndCouncillors

Area: 15,746.95 m²
Perimeter: 601.21 m

1: 835

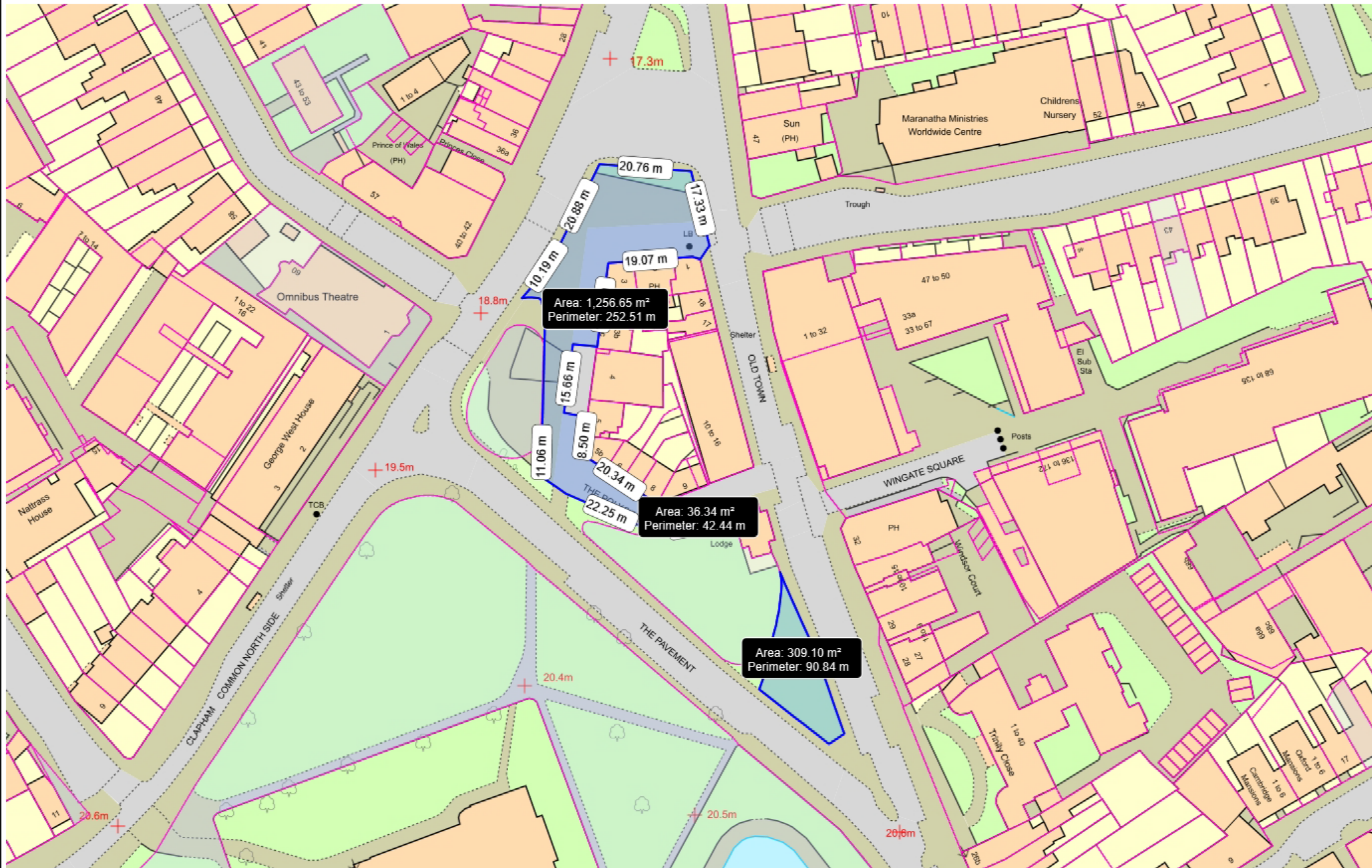




- Borough Boundary
- Lambeth Wards And Councillors
- LBL Land Registry Titles
- Land Registry Titles

1: 850



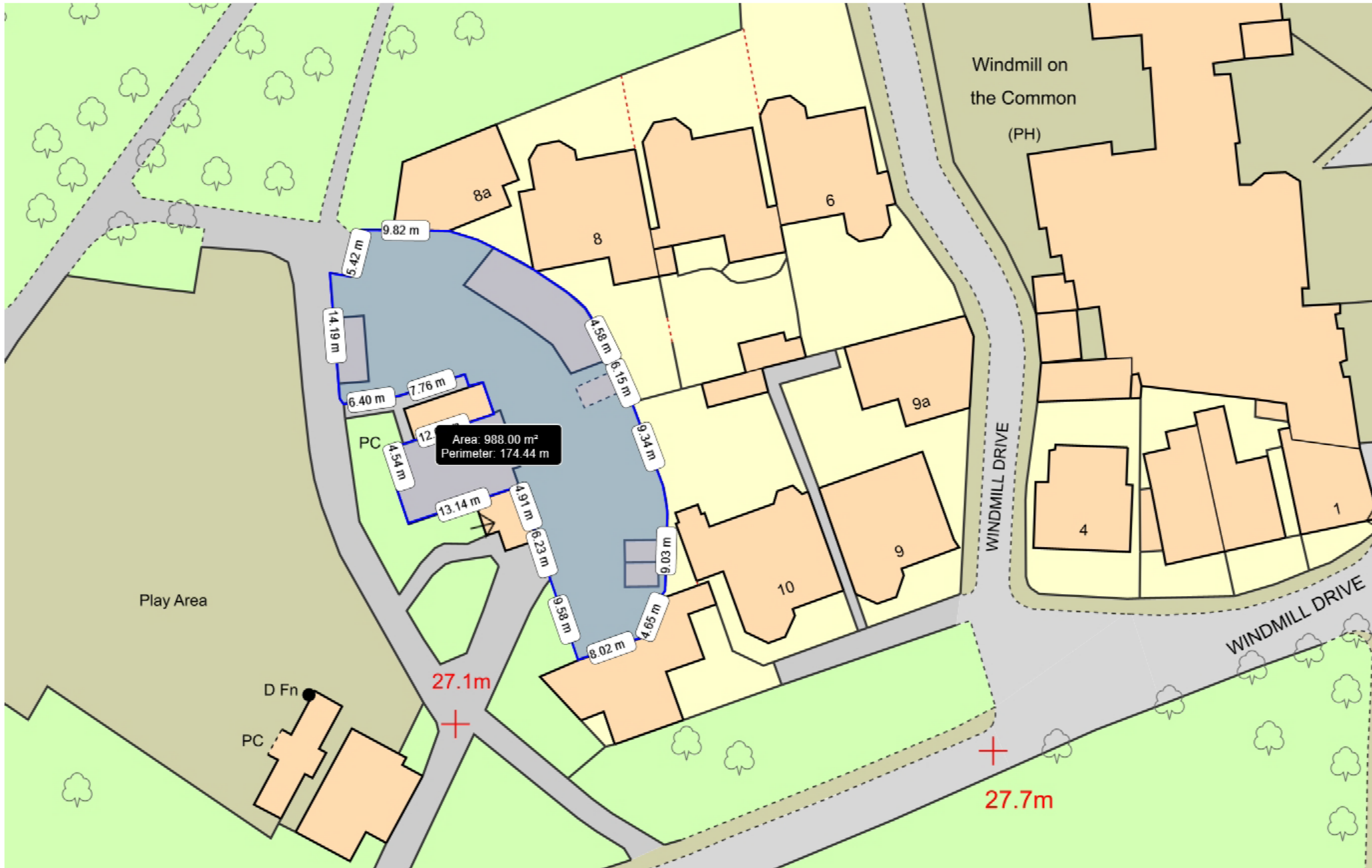


- Borough Boundary
- Lambeth Wards And Councillors
- LBL Land Registry Titles
- Land Registry Titles

1: 850



Notes



- Borough Boundary
- LambethWardsAndCouncillors
- Parks & Public Open Space

Area: 988.00 m²
Perimeter: 174.44 m

WINDMILL DRIVE

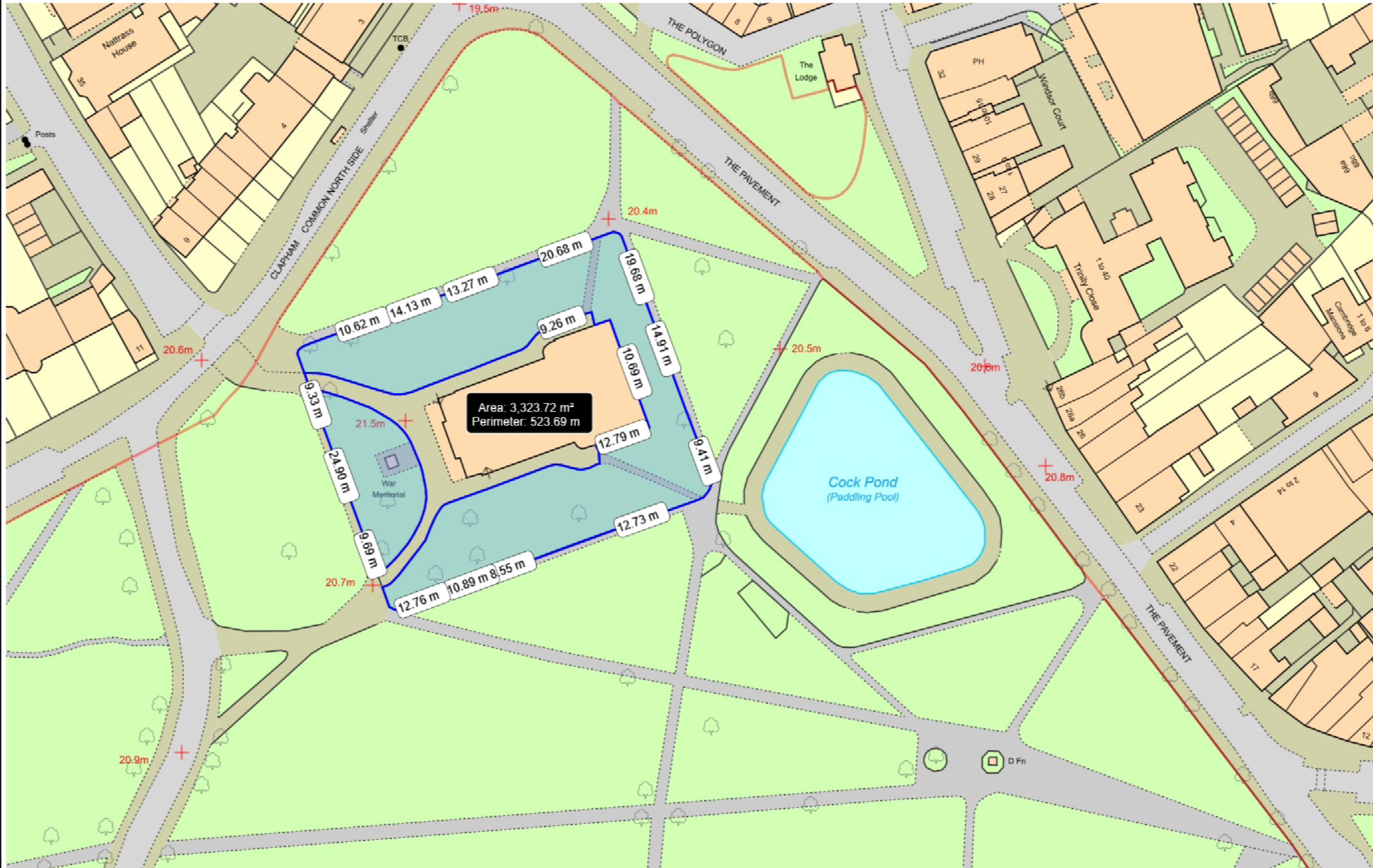
WINDMILL DRIVE

27.1m

27.7m

1: 425





- Borough Boundary
- Lambeth Wards And Councillors
- Parks & Public Open Space

1: 850



Notes

69

Area of Clapham Common

The question of the size of Clapham Common is complex. The map defining the area of the common dates from 1877 and has never been officially updated in any context. However, since 1877 the common has seen numerous changes. Some areas have been lost to development or road building and some areas excluded have since been incorporated into the common as public open space.

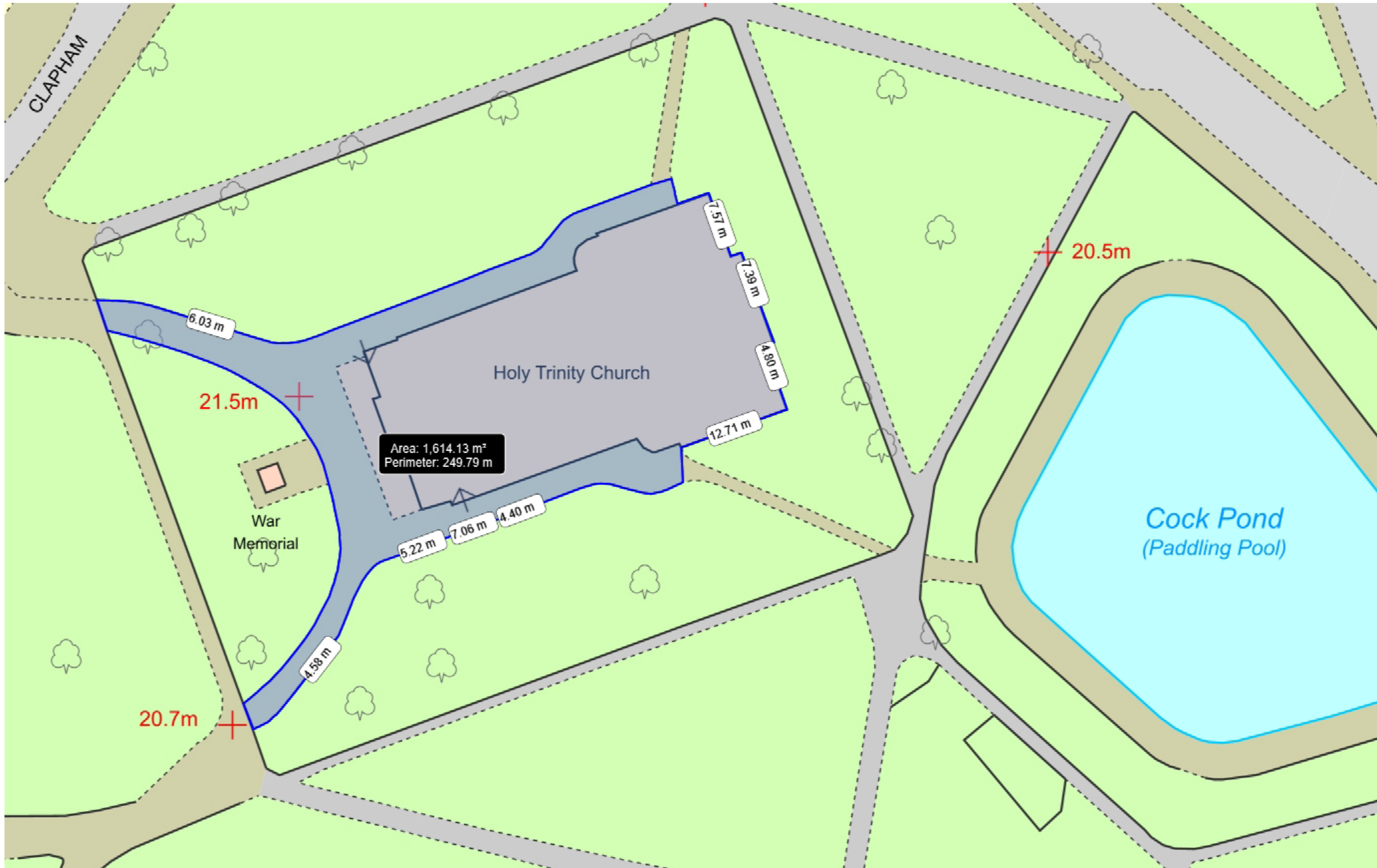
The legal definition of open land which we could use to determine ten per cent of the common includes extensive stretches of public highway. However, to include roads within any definition of open space could be interpreted as disingenuous. As such, Lambeth undertook an exercise in November 2022 to accurately measure different areas of the common and to create an assessment of land actually usable for informal recreation. These measurements were made using Lambeth’s Location Visualisation Tool (LVT) based on OS mapping. Key outcomes are shown in the table below and are accompanied by a series of pdf maps.

Lambeth’s view is that the area of the common that should be informally considered as open access/usable by the public is 792,959 square metres, so from 2023 onwards our position is that the maximum area we will allow to be fenced for entertainment at any one time is 79,296 square metres.

Definition	Calculation	Notes	Square metres	Ten per cent (sqm)
Total area of common land according to the original 1877 map	1	This is the area of Map 1 minus the excluded areas of Trinity Church, Windmill Place and The Rookery (Maps 2, 3 and 4)	833,045.67	83,305
Area of land within the 1877 boundary or immediately adjacent, which has public access and is usable for informal recreation (this specifically includes woodland, grassland, paths, pavements, water bodies, buildings with public access, sports facilities, play areas, the funfair site & the bandstand)	2	Maps 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23 minus Maps 2, 3 & 25, plus Map 26	792,958.5	79,295.85

Individual maps				
Map 1		1877 total area, including internal areas which were not common land	847,019.38	-
Map 2		Trinity Churchyard (excluded from area of common land, as per 1877 map)	4,940.47	-
Map 3		Windmill Place (excluded from area of common land, as per 1877 map)	7,066.11	-
Map 4		The Rookery (excluded from area of common land, as per 1877 map)	1,967.13	-
Map 5		Far NW section, west side of A205	2,203.61	-
Map 6		Battersea Rise	50,715.11	-
Map 7		Westside Area 1	17,285.81	-
Map 8		Westside Area 2	55,628.13	-
Map 9		Westside Area 3	33,290.64	-
Map 10		SW sections	3,075.45	-
Map 11		Main central area	461,153.74	-
Map 12		Eagle Pond section	80,628.88	-
Map 13		3 sections in front of Windmill PH	2,322.07	-
Map 14		Paddocks 1	1,307.83	-
Map 15		Paddocks 2	3,026.19	-
Map 16		Paddocks 3	5,768.39	-
Map 17		Rookery Road triangle	23,686.66	-
Map 18		NE strip	1,112.37	-
Map 19		NE section around Holy Trinity	41,794.88	-

Map 20		The Pavement	2,280.56	-
Map 21		North section	15,746.95	-
Map 22		The Polygon	1,441,97	-
Map 23		Polygon – land added	1,602.09	-
Map 25		Depot	998.00	-
Map 26		Holy Trinity Churchyard	3,323.72	-



- Borough Boundary
- Lambeth Wards And Councillors

1:425

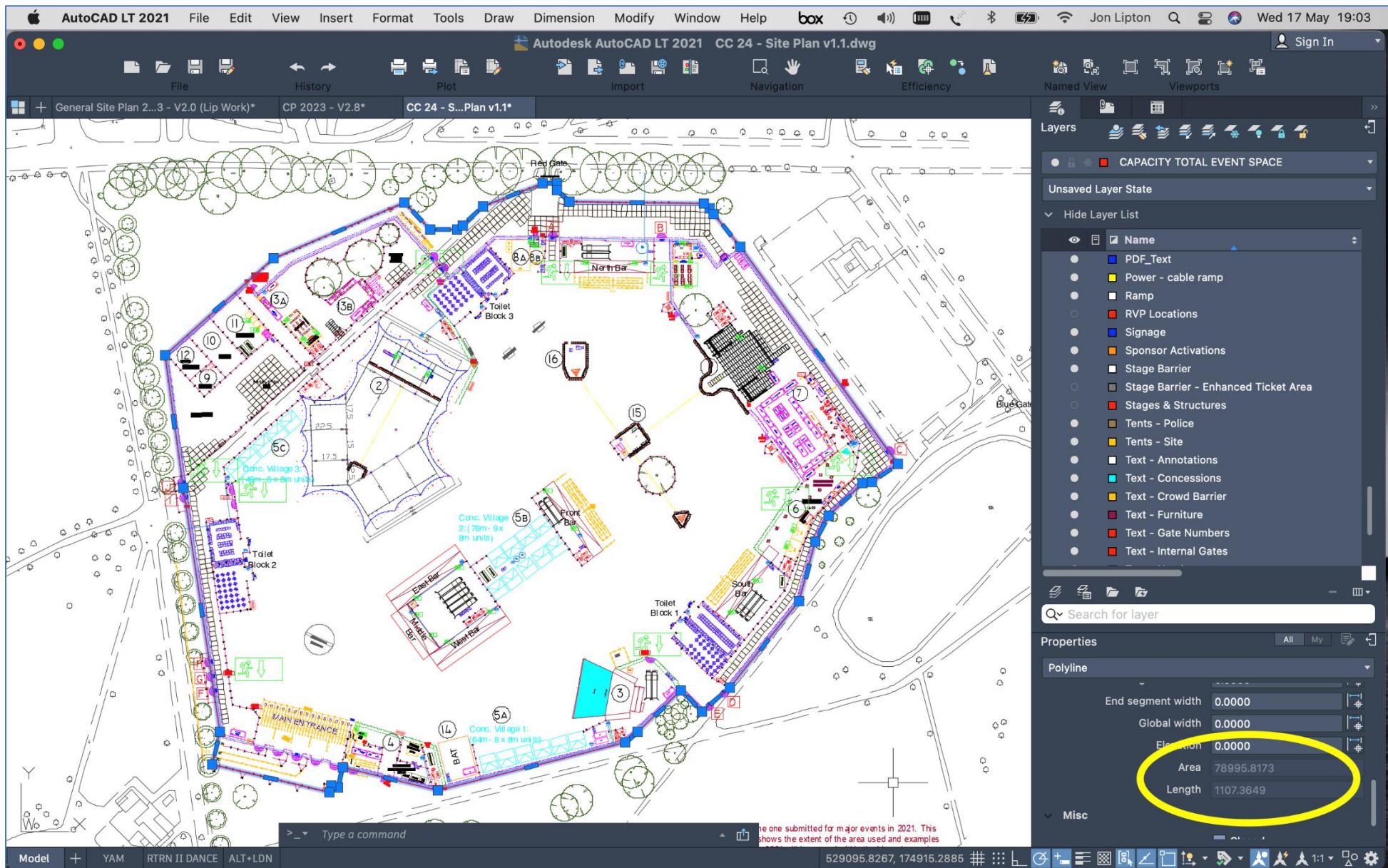


Area of buildings on Clapham Common

Building	Square Metres	Current use
Changing Rooms	107.24	Regular use by sports teams and clubs. Toilets opened to general public over the summer
Former toilet block adjacent to changing rooms	40.14	Derelict. Some preparatory works have taken place and the Council is in the process of converting it into a cafe
Bandstand	63.84	Permanent open access to everyone
Bandstand café complex	237.77	Café, public toilets and 2 storerooms. One is used as a base for Community Payback teams working on the common and the other as a bike store for bikeability sessions on the common
Boathouse and veranda	81.19	Boat store used by model boat club – no public access. Currently surrounded by Heras fencing to prevent vandalism and ASB
Rookery Road cafe	56.45	Café and toilet for customers
Rookery Road café decking/seating area	155.89	Not strictly a building, however the tenant has installed a marquee type structure to create an enclosed seating area. There are some planning issues ongoing but seems likely some sort of structure will remain in place
Operational depot (buildings only)	297.04	Operational use for maintaining the common and other Lambeth parks and open spaces. Excluded from the reduced area of common we are proposing
The Spinney	114.04	Former one o'clock club, currently on tenancy at will, lease in preparation. Is used for Youth and Play provision, combination of free and charged activities and hire etc.
Children's toilets	39.36	Public toilets
Refreshment kiosk in play area	18.49	Conversion of this former storeroom under the Spinney lease into a refreshment kiosk is almost complete and the kiosk will be open to the public in May or June
Access shaft for underground bunkers	159.89	Excluded from the reduced area of common we are proposing
Westside refreshment kiosk	38.97	Refreshment kiosk
Westside toilet block	24.26	Public toilets
Bowls pavilion	123.04	Staff accommodation; was placed on market to be leased as a café, however preferred tenant pulled out during negotiation period
Windmill Drive toilets (male)	29.74	Public toilets
Windmill Drive toilets (female)	35.41	Public toilets

Building	Square Metres	Current use
Bandstand Beds greenhouse, containers and compost toilets	64.95	Supporting an enclosed community food growing project within a former depot yard. BB is a membership-based organisation, payment required
Temperance Fountain	11.11	Redundant drinking fountain – Listed structure
Clapham Common tube station	35.56	Tube station access. Not included on our reduced area
Joe Public pizza	46.45	Pizza restaurant created from former public conveniences
Wine and Charcuterie	46.40	Wine bar created from former underground public conveniences. The stated area only covers the above ground access
Total area	1,827.23	

AutoCAD screen shot provided by Festival Republic showing the measured site boundary, with the area at 78,995.8173 square metres

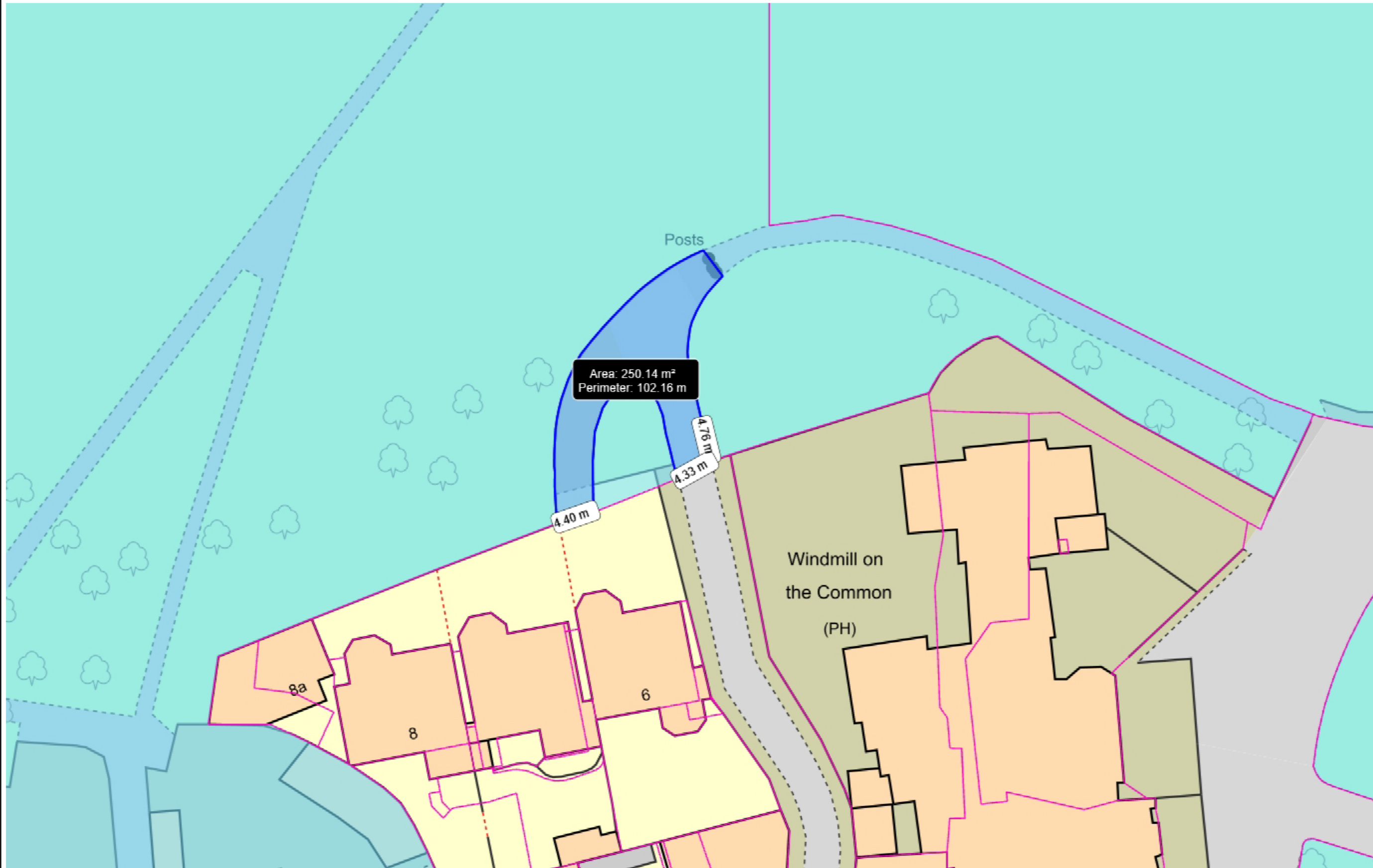






Nightingale Lane – Area 1 of open space missed from the Friends of Clapham Common’s mapping exercises



Nightingale Lane – Area 2 of open space missed from the Friends of Clapham Common’s mapping exercises



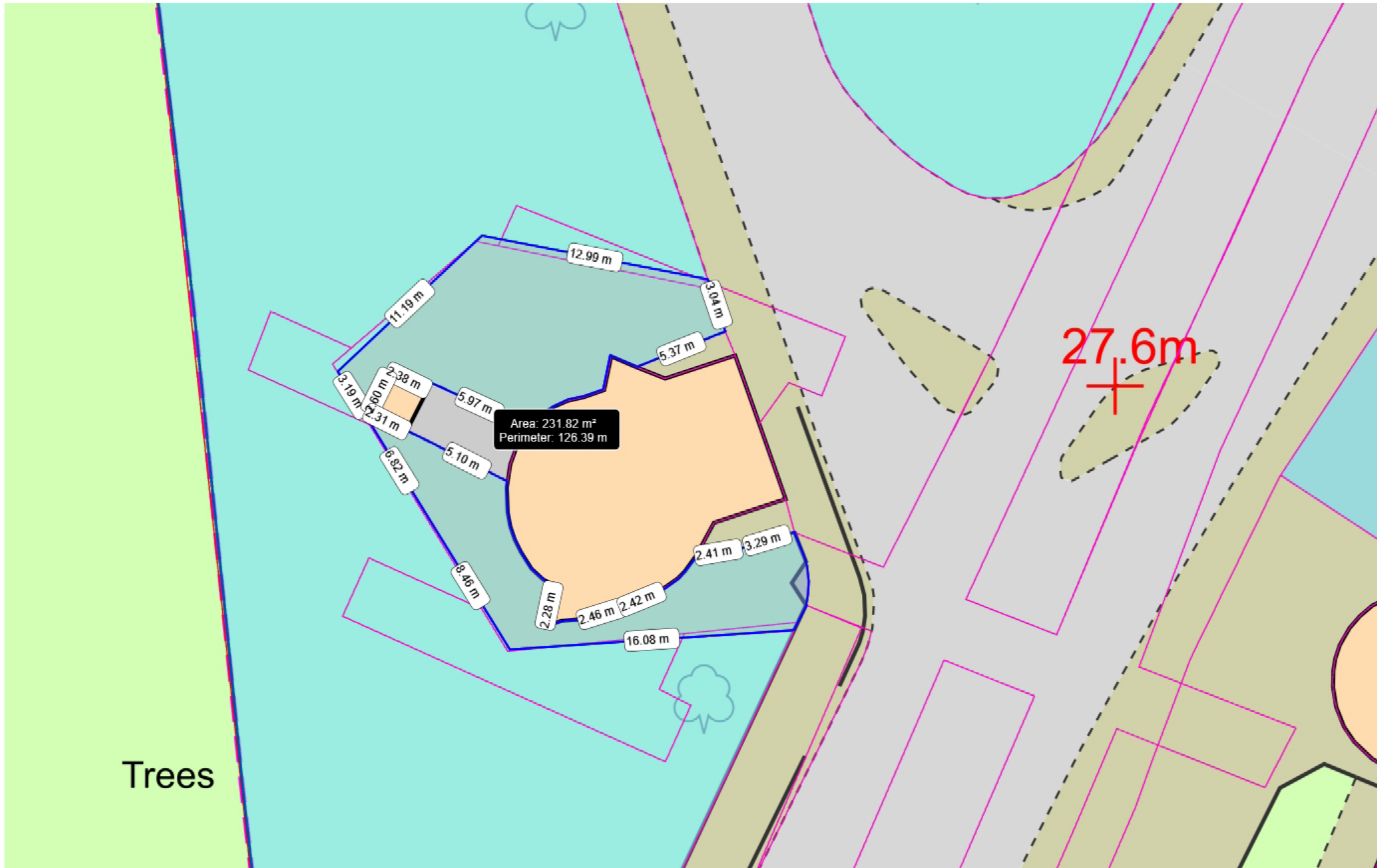


-  Borough Boundary
-  LambethWardsAndCouncillors
-  Land Registry Titles
-  Lambeth-owned Land Registry

1:425



Notes



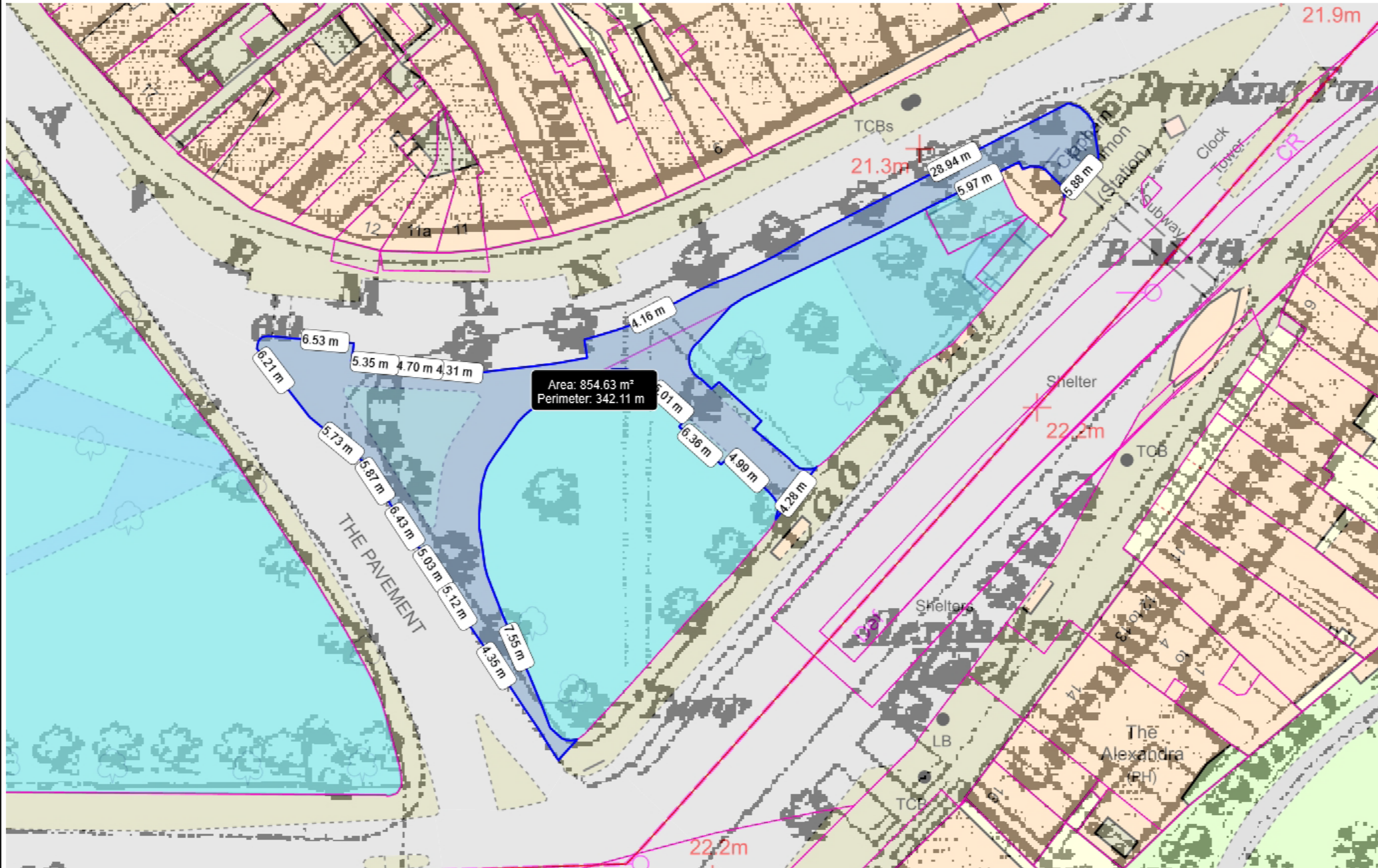
- Borough Boundary
- LambethWardsAndCouncillors
- Land Registry Titles
- Lambeth-owned Land Registry

1:213



Grass around the deep level shelter access building





- Borough Boundary
- Lambeth Wards And Councillors
- Land Registry Titles
- Lambeth-owned Land Registry

Area: 854.63 m²
Perimeter: 342.11 m

1:425



Public open space around Clapham Common tube station





